

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---



**Cook Shire**  
**COUNCIL**

**NOTICE OF MEETING**

AN ORDINARY MEETING OF THE COUNCIL OF THE SHIRE OF COOK will be held at the Administration Centre, 10 Furneaux Street, Cooktown on the 19-20-21 January, 2015

Tuesday,  
9.00 am. Ordinary Meeting commences – open to the public.

Stephen Wilton  
Chief Executive Officer

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

**AGENDA CONTENTS**

AGENDA CONTENTS.....	3
ATTENDANCE:.....	1
MEETING OPENED.....	1
APOLOGIES: .....	1
NOTICE OF BEREAVEMENT:.....	1
CONFIRMATION OF MINUTES .....	1
CONFIRMATION OF MINUTES OF ORDINARY MEETING.....	1
BUSINESS ARISING: .....	2
ENGINEERING SERVICES.....	3
PURCHASE OF GRADER VIA LOCAL BUY CONTRACT.....	3
PLANNING AND ENVIRONMENT .....	6
APPLICATION FOR A DEVELOPMENT PERMIT DA/3356 – MATERIAL CHANGE OF USE FOR A DUAL OCCUPANCY ON LOT 519 ON PLAN SP241633, LOCATED AT 27A HELEN, STREET, COOKTOWN .....	6
LANDHOLDER PEST MANAGEMENT INCENTIVE SCHEME .....	22
LAND TENURE.....	30
PROPOSED CONVERSION OF EXISTING NATIONAL PARK TO NATIONAL PARK (CAPE YORK PENINSULA ABORIGINAL LAND) FOR - JARDINE RIVER NATIONAL PARK BEING LOT 26 ON NPW404, AND DENHAM GROUP NATIONAL PARK BEING LOT 410 ON NPW603.....	30
AND.....	30
SECTION 16 LAND EVALUATION PROCESS IN RELATION TO - JARDINE RIVER REGIONAL PARK BEING LOT 1 ON SO806056, AND HEATHLANDS REGIONAL PARK BEING LOT 3 ON JD8 – VARIOUS PARISHES.....	30
APPLICATION FOR CONVERSION OF TERM LEASE SL14/47742 TO FREEHOLD; BEING LOT 1 ON PLAN SD11; TOWNSHIP OF EBAGoola WITHIN YARRADEN PH (LOT 10 ON PLAN SP113659) - PARISH OF EBAGoola; COUNTY OF SIDMOUTH: .....	66
ECONOMIC DEVELOPMENT AND COMMUNITY SERVICES .....	73
ECONOMIC DEVELOPMENT MARKETING STRATEGY.....	73
CORPORATE SERVICES.....	75
FINANCE .....	75
REVENUE AND EXPENDITURE – DECEMBER 2014.....	75
ADMINISTRATION.....	77
NORTH QUEENSLAND LOCAL GOVERNMENT ASSOCIATION – 2015 CONFERENCE .....	77
DELEGATION OF POWER TO NEGOTIATE .....	78

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

COMMITTEE OF THE WHOLE .....	80
NEW NATIVE TITLE DETERMINATION APPLICATION (QUD673/2014;QC2014/008) CAPE YORK UNITED NO. 1; VARIOUS PARISHES. .....	<b>Error! Bookmark not defined.</b>
NEW NATIVE TITLE DETERMINATION APPLICATION (QUD392/2014; QC2014/003) ANKAMUTHI PEOPLE #2; VARIOUS PARISHES.	<b>Error! Bookmark not defined.</b>
INFORMATION.....	80
ENGINEERING SERVICES.....	81
ENGINEERING SERVICES REPORT – JANUARY 2015 .....	81
PLANNING AND ENVIRONMENT .....	103
BUILDING AND PLUMBING APPROVALS – .....	103
DECEMBER 2014.....	103
BIOSECURITY MONTHLY REPORT – JANUARY 2015 .....	105
ECONOMIC DEVELOPMENT AND COMMUNITY SERVICES .....	108
ECONOMIC DEVELOPMENT AND COMMUNITY SERVICES DIVISIONAL REPORT – DECEMBER 2014 .....	108
CORPORATE SERVICES .....	120
FINANCE .....	120
FINANCE STATUS DECEMBER 2014 .....	120
ADMINISTRATION.....	126
BUSINESS SERVICES REPORT – JANUARY 2015 – FOR INFORMATION .....	126

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

**ATTENDANCE:**

The Mayor, Cr PH Scott, Councillors A Wilson, KG Price, GC Shephard, PL Johnson, R Bowman, S Clark, Chief Executive Officer (S Wilton), Minute Officer (R Norris).

**MEETING OPENED**

The Mayor, Cr PH Scott declared the meeting open at

**APOLOGIES:**

**NOTICE OF BEREAVEMENT:**

Advice has been received of the passing of Cr Talita Nandy (Wujal Wujal Aboriginal Shire Council)

As a mark of respect one minute silence was observed.

**CONFIRMATION OF MINUTES**

	<b>CONFIRMATION OF MINUTES OF ORDINARY MEETING</b>
--	--

That the minutes of the Ordinary Meeting of 15-16-17 December 2014 be confirmed subject to the following amendments

<b>Page/Reso #</b>	<b>Correction</b>			
Mayoral Report omitted	Mayoral Activity Report – Nov Dec 2014			
	Date	Venue	Meeting	Issues /outcome
	14/11/14	BLT Office	Land Trust	Development proposals
	21/11/14	Cairns	Regional Dev Aust.	AGM
	22/11/14	Bloomfield	Community mtg re wharf area	Steering committee formed

**AGENDA AND BUSINESS PAPERS  
19-20-21 January 2015**

24/11/14	Office	Southern Venture	Commercial moorings
25/11/14	Office (teleconf)	District Disaster Mgmt mtg	La Nina – average activity for TC
26/11/14	Chambers PCYC	Local Disaster Mgmt group Endeavour College Awards	Logistics over Xmas
27/11/14	Chambers	Interagency Group	Oak Tree Rtrmt Village
30/11/14	Mareeba	Community Cabinet	Container Deposits, Dams, road alignments, social hsg
1/12/14	Cairns	Local Govt roundtable Ports North	Depreciation, submission template Harbor ownership
4/12/14	Office	4CA Wharf story	
5/12/14	Chambers Office	Economic Dev Group DSDIP Paul Fagg	Portland Roads
6/12/14	Sovereign	Neil Scales DG DTMR	Bloomfield Track, Port Ownershi Dams, Hopevale Road
7/12/14	Pool	Breakfast with Santa	500 pax
8/12/14	Cairns	FNQROC & RRTG	Benefit \$47.70 per \$1 invested Regional advocacy
9/12/14	Town	National Tidy Towns judging	
10/12/14	PCYC	Okola Native Title handover	
11/12/14	Office	CY Infrastructure Plan CY Health Council	Teleconf. – PDR HACC, Rural Practitioners
12/12/14	Chambers	2020 mtg	JCU & RDA
<u>Upcoming meetings</u>			
17/12	Nth Shore	Dreaming Track Opening	
18/12	Depot	Mayoral Awards	

**BUSINESS ARISING:**

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

**ENGINEERING SERVICES**

W1	<b>PURCHASE OF GRADER VIA LOCAL BUY CONTRACT</b>	
	<i>Report No.D15/277 from Workshop Manager / Engineering</i>	

**Précis:**

Grader Replacement as per 2014/2015 Budget.

**Background/History:**

Current Grader Komatsu GD655-3, it was purchased by council on the 30/06/09 and has 7700 Hours and, as such, is due for replacement.

Section 234 of the Queensland *Local Government Regulations 2012* provides for an exemption from the requirement to seek quotes or Tenders when a large sized contractual arrangement exceeds \$200,000.00 if the contract is entered into under an LGA arrangement i.e. Local Buy.

**Evaluation:**

Five Machines were evaluated, selected from Local Buy Contract BUS 213-0511 (Earth Moving & Material Handling). Where 2 machines have been presented by a supplier the most suitable machine has been evaluated.

A visual inspect/evaluation of all machines presented has been carried out by Scott Johnson (Workshop/Fleet Manager) and Stephen Weeks (Diesel Fitter), with a score out of 340 being given to each machine. The score based on the visual inspection was then used in the following evaluation.

- 1: Price 20%**
  - *No description provided*
  
- 2: Engine 15%**
  - *Power*
  - *Torque*
  - *Emission Systems*
  
- 3: Warranty 15%**
  - *Warranty duration, cost of extended warranties*
  - *Remote warranty authorization*
  
- 4: Visual Inspection 45%**
  - *General Layout and Quality.*
  - *Operator Visibility.*
  - *Operator Comfort and functionality.*
  - *Diagnostics.*

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

- *Service Access and Ease.*
- *Coolers Positioning and Serviceability.*
- *Mold Board and Circle Adjustment.*
- *Under Body Protection and Service Access.*
- *Hydraulic Hose and Cylinder Positioning and routing.*
- *Electrical Wiring routing and securing.*
- *Air-conditioner Suitability and Serviceability.*

**5: Transmission 5%**

- *Type, Gears, Ease of Use.*

Final evaluative scores were as follows:

**Komatsu Australia GD655-5 (Most Suitable of the Two Presented)**

Price:	\$351,500.00
Score:	43/50
Weighted Score:	8.8
Trade Price Offered:	\$100 000.
<b>Total Change Over Price Excluding GST:</b>	<b>\$251 500</b>

**Hitachi Construction Machinery John Deere 770G**

Price:	\$343,450.00
Score:	43/50
Weighted Score:	8.8
Trade Price Offered:	\$83 000
<b>Total Change Over Price Excluding GST:</b>	<b>\$286 495</b>

**CJD Equipment Volvo G940**

Price:	\$335,688.00	Score:
	39/50	
Weighted Score:	7.45	
Trade Price Offered:	\$95 000	
<b>Total Change Over Price Excluding GST:</b>	<b>\$264 756.80</b>	

**Hastings Deering Cat 140M**

Price:	\$390,500.00
Score:	35/50
Weighted Score:	6.45
Trade Price Offered:	\$80 000
<b>Total Change Over Price Excluding GST:</b>	<b>\$310 550</b>



**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

Komatsu GD655-5 comes standard with 2D Cross slope laser system. This will increase productivity and make machine more simplistic to operate.

Komatsu offer free servicing to 2000hr including travel to Cook Shire Depot and will travel to Cook Shire Depot in the 2<sup>nd</sup> and 3rd year of Warranty Coverage.

In light of the above, the 5 machines were evaluated in accordance with the five principals detailed in Section 106 of the Local Government Act 2009, being:

- o open and effective competition;
- o value for money;
- o enhancement of the capabilities of local business and industry
- o environmental protection
- o ethical behaviour and fair dealing

**Link to Corporate Plan;**

**4.1.1 Provide, to a standard that ensures (at a minimum) legislative compliance:**

- a) Sustainable financial and administrative management of the Shire's municipal and community resources.
- b) A sound annual budget which ensures adequate funding and reserves to provide for Council's future financial obligations.

This is done by keeping a Reliable well Maintained Fleet with high availability and utilisation.

**Legal Implications**

Nil

**Policy Implications**

Nil

**Financial and Resource Implications (Budgetary)/Risk Assessment**

Within 2014/2015 Budget

**RECOMMENDATION**

That Council purchase Komatsu GD655-5 from Komatsu Australia for \$351,500.00 and accept Trade price of \$100 000. Total Change Over Price Excluding GST: \$251 500.

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

**PLANNING AND ENVIRONMENT**

PE1	<b>APPLICATION FOR A DEVELOPMENT PERMIT DA/3356 – MATERIAL CHANGE OF USE FOR A DUAL OCCUPANCY ON LOT 519 ON PLAN SP241633, LOCATED AT 27A HELEN, STREET, COOKTOWN</b>	
	<i>Report No.AD14/6039 from Director Planning and Environment</i>	

**Précis**

**Applicant:** Rodney and Christine Henderson  
PO Box 175  
Cooktown, Qld. 4895

**Owner:** Mechthild I Peine

**Location:** 27A Helen Street, Cooktown Qld 4895

**RPD:** Lot 519 on Plan SP241663

**Area:** 1,521 sq metres

**Zone:** Mixed Use Zone

**Proposed Use:** Dual Occupancy

**Use Classification:** Dual Occupancy

**Referral Agencies:** Nil

**Submissions:** Nil

**Report**

Application has been made to Council under the current IPA Planning Scheme for the issue of a Development Permit for Making a Material Change of Use for a Dual Occupancy on Lot 519 on Plan SP241663 located at 27A Helen Street, Cooktown. Council issued an Acknowledgement Notice on the 20<sup>th</sup> November 2015, but did not issue an Information Request. The application is Impact Assessable Development under the Cook Shire Planning Scheme and required Public Notification.

**Proposal**

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

The application is for a Dual Occupancy consisting of two detached, three bedroom, self contained dwelling units on Lot 519 on Plan SP241663 located at 27A Helen Street Cooktown. Each dwelling unit will consist of the following:

- Garden Shed = 9.0 sq metres
- Verandah = 19.0 sq metres
- Carport = 17.8 sq metres
- Dwelling = 130.0 sq metres
- Development Footprint = 197.0 sq metres

The development is to be connected to reticulated water, sewerage and electricity. Access to the development will be from Helen Street which is bitumen sealed.

**The Site**

The development site is Lot 519 on Plan SP 241663, located at 27A Hogg Street, Cooktown. Lot 519 is within the reticulated water and sewerage area and is zoned Mixed Use under the Cook Shire Planning Scheme. Lot 519 has an area of 1,521 sq metres with frontage to both Helen and Hogg Streets which are bitumen sealed. The development site is currently vacant.

**Town Planning Considerations**

The proposed development is best defined under the Cook Shire Planning Scheme as:

*“Dual Occupancy – means the use of premises for two self contained dwelling units (whether attached or detached) on a single lot.”*

Lot 519 is zoned Mixed Use under the Cook Shire Planning Scheme and under that zoning a Material Change of Use for Dual Occupancy is Impact Assessable development and requires Public Notification. Council must consider the provisions of the Planning Scheme as a whole including the strategic elements when assessing the application.

The purpose of the Mixed Use Zone Code is to achieve the following outcomes for the Mixed Use Zone:

- *To provide for a mix of commercial and residential uses on land framing the main commercial/tourist centre of Cooktown;*
- *Commercial and entertainment facilities are provided at ground level, while residential units are located predominantly above ground level and provide for high density tourist accommodation and longer term residential living;*
- *Tourist facilities and services are established within or adjacent to tourist accommodation; and*
- *New buildings and structures complement the historic character and architectural appeal of Cooktown whilst not being obtrusive, or detracting from the vegetated backdrop of Grassy Hill.*

## **AGENDA AND BUSINESS PAPERS**

### **19-20-21 January 2015**

---

The following Codes are identified under the Cook Shire Planning Scheme as being applicable to a Dual Occupancy in the Mixed Use Zone:

- Mixed Use Zone Code
- Dual Occupancy Code
- Parking and Access Code
- Works, Services & Infrastructure Code

The proposed development for a Dual Occupancy complies with the relevant Performance Criteria applicable to this application. (Council notes that the proposed Dual Occupancy is a Class 1 building, the same building classification as a House, which is self assessable, stand alone development in the Mixed Use Zone).

#### Desired Environmental Outcomes (DEO's)

The DEOs set the broad strategic direction for land use and development in the Shire and describe the desired outcomes for the land subject to this Planning Scheme. They cover the following topics:

1. Economy
2. Environment
3. Settlement Patterns
4. Transport & Communications
5. Community
6. Rural Prosperity
7. Heritage
8. Safety

Each DEO is sought to be achieved to the extent practicable having regard to each of the other DEOs and the scope of the Planning Scheme. The numbering of the DEOs does not indicate a ranking of importance.

While each stated DEO is sought to be achieved to the extent practicable for this development application there is strong compliance with DEO 1, DEO 3 and DEO 8 of the Cook Shire Planning Scheme.

#### **DEO 1: A Strong Economy**

*“Cook Shire has a prosperous and growing economy, delivering jobs and rising living standards for all. The economy is centred around rural and extractive industries and tourism based on the Shire’s natural and cultural assets. Opportunities to diversify within and beyond these sectors are grasped and the Shire becomes more self-reliant in retailing and services.”*

#### **DEO 3: Efficient Settlement**

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

*“Human settlement is consolidated in the existing towns and townships where it can be most cost effectively serviced. Cooktown functions as the largest administrative and commercial centre of the Shire, with Coen playing a significant role in the northern Cape York area. The smaller townships of Marton, Lakeland, Laura, Portland Roads, Ayton, and Rossville serve their respective localities. Land and infrastructure is provided at an appropriate scale within each of these settlements, to allow adequate housing, community services, recreational space and opportunities for business and industrial activities.”*

**DEO 8: A Safe Environment**

*“Human life, property and the environment are protected from the adverse effects of landslips, bushfires and flooding.”*

**Referral Agencies**

There are no referral agencies for the purpose of this application.

**Public Notification**

The applicant fulfilled the requirements under the *Sustainable Planning Act 2009* for completing public notification. As described in the Notice of Compliance dated 20 December 2014, the proposal was advertised in a paper circulated in the area (Cooktown Local News 27<sup>th</sup> November 2014), letters were sent to each adjoining land owner ( 24<sup>th</sup> November 2014 ) and signs were placed and maintained on the relevant road frontages ( Helen Street and Hogg Street) ( 27<sup>th</sup> November 2014 ). No submissions were received during the Public Notification Period.

**Discussion**

The proposed development is for a Dual Occupancy (two (2) x three (3) bedroom dwelling units), which is a much needed residential development in Cooktown, given the current housing shortage. The development complies with the relevant Performance Criteria and Desired Environmental Outcomes of the Cook Shire Planning Scheme, and is recommended to Council by Council Officers for approval with conditions.

**Recommendation**

That the application under the IPA Planning Scheme by Rodney and Christine Henderson for a Development Permit for making a Material Change of Use for Dual Occupancy on Lot 519 on Plan SP 241633 located at 27A Helen Street, Cooktown, be approved subject to the following conditions:

**A. Assessment Manager (Council) Conditions**

**Approved Plan**

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

1. The development must be carried out generally in accordance with the following plans (see Appendix “B”) submitted with the application, except for variations required to comply with the conditions of this approval:

- Site Detail Plan – Job No 415471 - Sheet No.2 – Dated 12/11/14
- Elevations – Job No 415471- Sheet No.4 – Dated 12/11/14
- Floor Plan (unit 1) – Job No 415471 – Sheet No.5 – Dated 12/11/14
- Floor Plan (unit 2) – Job No 415471 – Sheet No.7 – Dated 12/11/14
- Elevations (Amended) – Job No. 415471 – Sheet No.6A – Dated 19/11/14

**Water**

2. The development must be connected to Council’s reticulated water supply in accordance with section D6 of the FNQROC Manual and the requirements of the *Plumbing and Drainage Act 2002*. Internal plans to be submitted for approval by Council’s Plumbing Inspector prior to works commencing.

3. The water service connection for the development must be upgraded to either a 25mm service or two (2) 20mm services.

4. The metering of the individual units is the responsibility of the applicant.

**Sewerage**

5. The development must be connected to Council’s reticulated sewerage scheme in accordance with section D7 of the FNQROC Manual and the requirements of the *Plumbing and Drainage Act 2002*. Plans to be submitted for approval by Council’s Plumbing Inspector prior to works commencing.

**Infrastructure Charges**

6. Infrastructure Charges for water, sewerage and public open space must be paid to Council at the time of application to carry out building works, as indicated on the attached Adopted Infrastructure Charges Notice at the rate applicable at the time of payment (see Appendix “A”)

**Electricity**

7. The development must be connected to the reticulated electricity supply.

**Access**

8. Access to the proposed development must be via the existing Helen Street access.

**Internal Driveways and Car Parks**

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

**9.** The development must make provision for a minimum of two (2) covered off-street car parking spaces, to be located as per approved plan titled Site Detail Plan – Job No 415471 – Sheet No.2 – Dated 12/11/14. Car parking spaces must be concrete sealed.

The internal driveway must be a minimum of three (3) metres wide and located as per approved plan titled Site Detail Plan – Job No 415471 – Sheet No.2 – Dated 12/11/14. The internal driveway must be concrete sealed and constructed to the requirements of the FNQROC Manual.

Engineering drawings for the car parking and internal driveway must be submitted to Council for approval by Council’s Director Engineering Services at the time of building application. Please note that the driveway slab should be 125mm thick.

**Stormwater Drainage**

**10.** Stormwater drainage must be to a legal point of discharge. Drainage plans must be submitted to Council for approval as part of the application for carrying out building work.

**Landscaping**

**11.** Landscaping must generally be in accordance with the landscaping shown on approved plan titled Site Detail Plan - Job No 415471 – Sheet No.2 – Dated 12/11/14, with the following additions:

- Provision of a minimum one (1) metre wide landscaped strip joining the retained existing natural vegetation along the Hogg Street frontage;
- Provision of a minimum one (1) metre wide landscaped strip along the Helen Street frontage from the retained existing natural vegetation, exclusive of the driveway;
- Provision of a minimum one (1) metre wide landscaped strip along the rear boundary from the retained existing natural vegetation to the boundary with Lot 518.

Additional plantings must be shown on site plan at building application stage.

Landscaping areas must be subject to regular and ongoing maintenance, including the timely replacement of damaged or dead plants.

**Fences**

**12.** The applicant must provide a minimum 1.8 metre high solid screening fence along the boundary with Lot 518 and a 1.8 metre high privacy fence between the two (2) dwelling units. The privacy fence between the two dwelling units must be located as per the approved plan titled Site Detail Plan – Job No 415471 – Sheet No.2 – Dated 12/11/14.

**Heritage Protection**

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

**13.** The Heritage stone kerb and channelling must be protected from damage during construction of the development.

**Noise and Dust**

**14.** The applicant must ensure that during the construction stage, no nuisance is caused to the surrounding properties by way of noise or dust emissions.

**Public Utilities**

**15.** The developer is responsible for the cost of any alterations to public utilities as a result of complying with the conditions of this approval.

**Compliance**

**16.** All Conditions of the Development Permit must be complied with prior to the use commencing.

**Currency Period**

**17.** The currency period for this Development Approval is four (4) years. Should the Dual Occupancy not be established within this time, the approval shall lapse.

**B. Advice (Council)**

A development permit is required for carrying out Building Work and a Plumbing and Drainage approval / compliance permit is required for Plumbing and Drainage works prior to construction of the Dual Occupancy commencing.

**Appendix 'A'**



**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

Our ref: JH:LM:DA/3356

20 January 2015

Rodney and Christine Henderson  
PO Box 175  
COOKTOWN QLD 4895

Dear Mr and Mrs Henderson

**ADOPTED INFRASTRUCTURE CHARGES NOTICE**  
**DEVELOPMENT APPLICATION DA/3356**  
**27A HELEN STREET, COOKTOWN**

**Proposal:** Dual Occupancy

**Applicant:** Rodney and Christine Henderson  
PO Box 175  
COOKTOWN QLD 4895

**Location of Site:** 27A Helen Street, COOKTOWN QLD 4895

**Real Property Description:** Lot 519 on Plan SP241633

**Type of Development:** Material Change of Use

**Infrastructure Charges Calculation:**

Development Class	Charge	Unit of Measure	No of Units	Amount of Charge
Material Change of Use (Dual Occupancy) (Water)	\$1,700.00	Equivalent domestic connection	1.75	\$2,975.00
Material Change of Use (Dual Occupancy) (Sewerage)	\$1,420.00	Equivalent domestic connection	1.75	\$2,845.00
Material Change of Use (Dual Occupancy) (Public Open Space)	\$900.00	Equivalent number of Residential Units	2	\$1,800.00
<b>Total Charges</b>				<b>\$7,260.00</b>

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

**Credit Calculation:**

Development Class	Charge	Unit of Measure	No of Units	Amount of Credit
Material Change of Use (Dual Occupancy)	\$1,700.00 (Water)	Equivalent domestic connection	1	\$ 1,700.00
Material Change of Use (Dual Occupancy)	\$1,420.00 (Sewerage)	Equivalent domestic connection	1	\$ 1,420.00
Material Change of Use (Dual Occupancy)	\$900.00 (Public Open Space)	Equivalent number of Residential Units	1	\$900.00
<b>Total Credit</b>				<b>\$4, 020.00</b>

**Net Adopted Infrastructure Charges Summary:**

Total Adopted Charge	Total Credit	Total Infrastructure Charge
\$7,260.00	\$4, 020.00	\$ 3,240.00

(Note: The Total Infrastructure Charge = Total Charges – Total Credit for Existing Use)

**Due Date for Payment:**

Payment of the total infrastructure charge must be made at the time of lodgement of the building application.

**Payment Details:**

Payment of the adopted infrastructure charge must be made to Cook Shire Council, either in person at 10 Furneaux Street, Cooktown or via mail at PO Box 3, Cooktown, Qld, 4895.

**Goods and Services Tax:**

The federal government has determined that rates and utility charges levied by a local government will be GST free. Accordingly, no GST is included in this infrastructure charge notice.

**Adopted Infrastructure Charge is Subject to Price Variation:**

The amount of the adopted infrastructure charge is subject to variations in the Consumer Price Index (C.P.I.). All groups from the reference date stated in this notice until the date the payment is made.

This notice will lapse if the development approval stops having effect.

**RIGHTS OF APPEAL:**

Pursuant to the provisions of Chapter 7 of *The Sustainable Planning Act 2009*, a person may appeal to the Planning & Environment Court against the decision of this Council.

Please refer to [www.dip.qld.gov.au/spa](http://www.dip.qld.gov.au/spa) to access the *Sustainable Planning Act 2009*. Please refer to sections 478, 535, 675 and 680 which detail your appeal rights regarding this notice.

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

Should you require any further information or assistance please contact Council's Town Planning Officers, John Harrison or Lisa Miller on, (07) 4069 5444.

Yours faithfully

Stephen Wilton  
Chief Executive Officer

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

**Appendix 'B'**

# AGENDA AND BUSINESS PAPERS

## 19-20-21 January 2015



Verify dimensions & Levels on site before commencing work  
Use figured dimensions - 50 MET SCALE  
If in doubt ASK.

12/11/14	Issue for PLANNING APPLICATION
DATE	SUBJECT

**AMENDMENTS**

Robert Edmunds (Assoc./Civ.Eng.)  
Chartered Member BSA, etc.  
100 Eco-Design Street Building Designer  
CONSULTED "GREENSMART" PROFESSIONAL  
QAS&A Lic No. 061178  
Building Design - Medium Rise

**PROPOSED DUPLEX**  
Lot 519 on SP 241633  
27A HELEN St., COOKTOWN.  
Parish of COOK  
County of BARKS

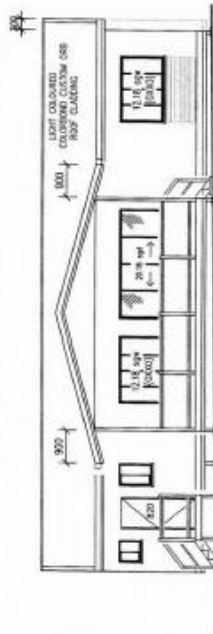
SITE DETAIL PLAN, NOTES, etc.

CLIENT  
**Rodney & Cristine Henderson**  
63A DE. WA. 27100  
JOB NO. 415471 SHEET NO. 2

# AGENDA AND BUSINESS PAPERS

## 19-20-21 January 2015

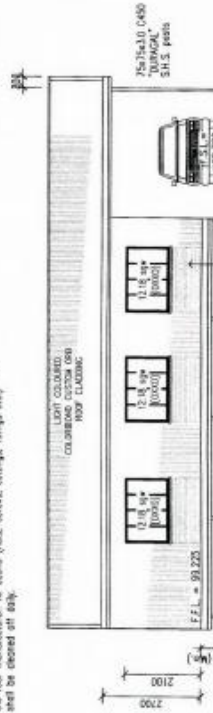
Verify Dimensions & Levels on site before commencing work.  
Use figured dimensions - DO NOT SCALE  
If in doubt ASK.



ELEVATION 3 (NORTHERN)

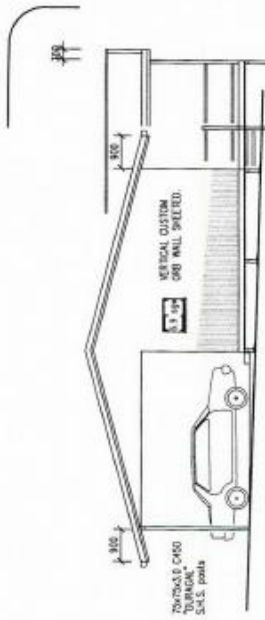
**ROOF CLADDING NOTES:-**

The roofing shall be 0.42 mm BMT Corrugated, in continuous lengths, profile to be in accordance with AS14165. Sealing reference shall be AS14165. The roofing shall be installed in accordance with the manufacturer's instructions and shall be covered with a 200mm thick concrete screed with a cover bonded paper for selected colour.  
The sheathing shall be crest fixed to the battens with 10x12x45mm zinc head self drilling type No. 17 fixing screws, fitted with neoprene washers in accordance with Australian Standard AS3556, Class 3, 5000 Np. Screws shall be set in such a manner that the approved side lap joints are in the troughs of the roofing. The roofing shall be installed in accordance with the manufacturer's instructions and shall be covered with a 200mm thick concrete screed with a cover bonded paper for selected colour.  
At eaveing shall be fixed in a workman like manner, having the job clean and weather tight. Repair minor blemishes with touch-up paint supplied by the manufacturer. Repair minor blemishes with touch-up paint supplied by the manufacturer. Repair minor blemishes with touch-up paint supplied by the manufacturer. Repair minor blemishes with touch-up paint supplied by the manufacturer.



ELEVATION 1 (SOUTHERN)

\*PARTS UNDER WINDOWS SHOWN



ELEVATION 4 (EASTERN)

**SCREEN LAMING NOTES**

4.3mm VISIBLUK  
FRAMES AT 400 ON WITHIN 1200  
OF BUILDING ENDS, 900 ELSEWHERE  
SCREENS FIXED WITH 2.0# P.C. NAILS  
ENDS  
300 ON AT SHEET JOINTS, 300 ELEC.  
END SHEETS TO BE WENTED.

**Copyright**  
These drawings and designs are Copyright  
and shall not be used, copied or related  
without written permission.  
Use figured dimensions in preference to Scale.  
Check all dimensions on site before  
fabrication or building work commences.



ELEVATION 2 (WESTERN)

**GLAZING NOTES (CZ)**  
GLAZING THICKNESS TO BE DETERMINED USING  
A.S. 1588:2008 - Data in Buildings, Selection & Installation  
GENERALLY THICKNESS CAN BE DETERMINED  
FROM THE VALUES BELOW

THICKNESS	AREA (sqm)
2mm ANNEALED	0.201
4mm ANNEALED	1.301
5mm ANNEALED	1.881
5mm ANNEALED	2.280

NOTE:- REFER TEXT OF A.S.1208  
WHERE GLAZING IS BELOW 1100  
ABOVE FLOOR LEVEL.

elevations  
1:100

DATE	ISSUE FOR PLANNING APPLICATION
12.11.14	ISSUE FOR PLANNING APPLICATION

**SUBJECT**  
**AMENDMENTS**  
Robert EDWARDS (Asst. Dir. Civ. Eng.)  
Chartered Member B.D.A.O.  
IRM Eco-Design Smart Building Designer  
QUALIFIED "GREENSMART" PROFESSIONAL  
Q.B.S.A. Lic No. 081176  
Building Design - Medium Rise

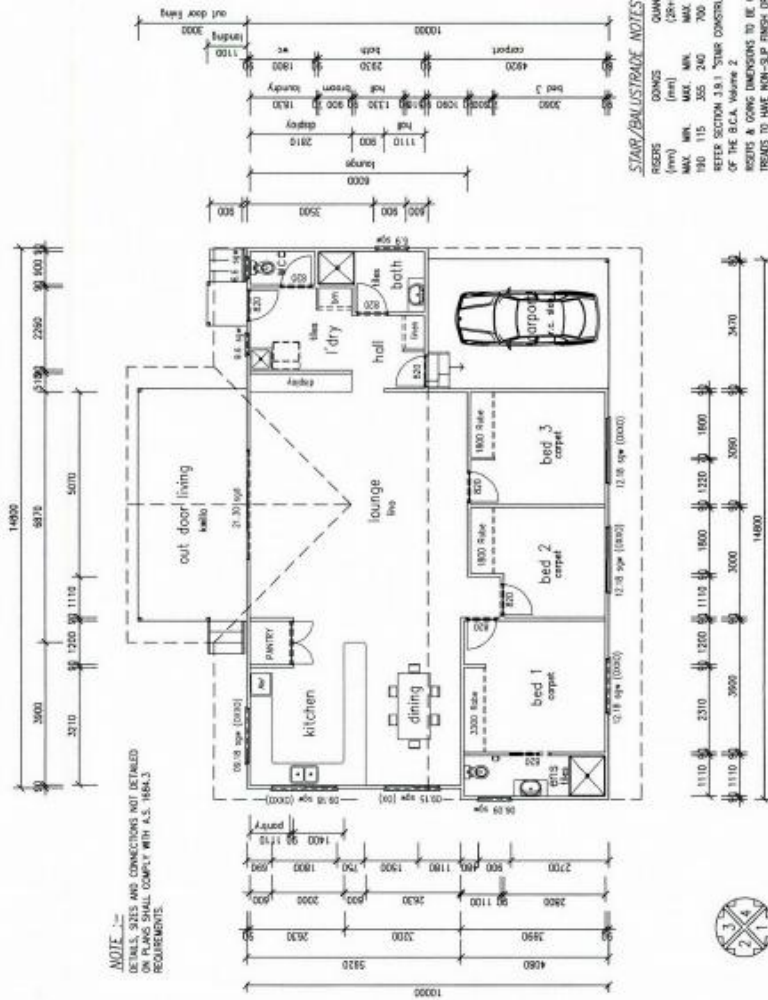
**PROPOSED DUPLEX**  
Lot 519 on SP 241633  
27A HELEN St., Cooktown.  
Parish of COOK  
County of BANKS  
UNIT 1  
ELEVATIONS, NOTES, etc.  
CLIENT  
Rodney & Christine Henderson  
E.L.A. Lic. No. 71057

SP No.	SHEET No.
415471	4

# AGENDA AND BUSINESS PAPERS

## 19-20-21 January 2015

Copyright  
 Use, copy, and designs are Copyright  
 and shall not be used, copied or retained  
 without written permission.  
 Use figured dimensions in preference to Scale.  
 Check all dimensions on site before  
 erection of building work commences.



floor plan  
1:100



DATE	ISSUE FOR PLANNING APPLICATION	SUBJECT
12.11.14	Issue for PLANNING APPLICATION	

**AMENDMENTS**

Robert Edwards (Asst. Dip. Civ. Eng.)  
 Chartered Member BDAAG.  
 100, Victoria Road, Millington, Dunfermline  
 DUNFERMLINE, Fife KY11 1LW  
 O.B.S.A. Lic. No. 0811776 PROFESSIONAL  
 Building Design - Medium Rise

**PROPOSED DUPLEX**  
 Lot 519 on SP 241633  
 27A HELEN ST., Cooktown.  
 Parish of COOK  
 County of BAWKS  
 UNIT 1  
 PLAN, NOTES, etc.

**JOB No.** 415471  
**CLIENT** Rodney & Christine Henderson  
 8.5.A. Lic. No. 714029  
**SHEET No.** 5

# AGENDA AND BUSINESS PAPERS

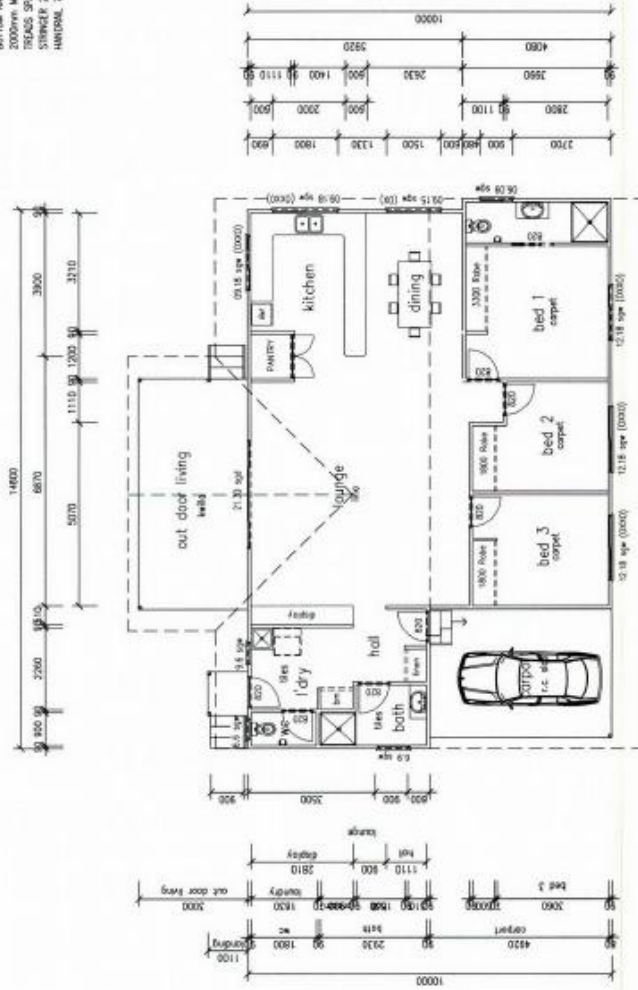
## 19-20-21 January 2015

**STAIR/BALUSTRADE NOTES**

RISERS  
 QUANTITY (2R+1)  
 (mm) MIN. MAX. MIN. MAX. MIN.  
 180 115 325 240 700 500  
 REFER SECTION 3.6.1 "STAIR CONSTRUCTION" OF THE B.C.A. Volume 2  
 RISERS & GOING DIMENSIONS TO BE CONSISTENT  
 TRYING TO HAVE NON-SLIP FINISH ON STAIR  
 NEAR EDGE OF nosings.  
 BALUSTRADE 1000mm MIN. HEIGHT  
 SLAT SPACING 125mm MAX.  
 BOTTOM RAIL 125mm MAX. ABOVE DECK.  
 2000mm MIN. HEAD CLEARANCE.  
 TRUCKS SPAN 300 DEPTH Slant 11  
 SPAN 2200 DEPTH 11 HOUSING 15mm  
 HANDRAIL 7000 FT1

© Copyright  
 These drawings and designs are Copyright  
 and shall not be used, copied or related  
 without written permission.  
 Use figured dimensions in preference to Scale.  
 Check all dimensions on site before  
 fabrication or building work commences.

NOTE ---  
 DETAILS, SIZES AND CONNECTIONS NOT DETAILED  
 SHALL COMPLY WITH A.S. 1684.3  
 REQUIREMENTS.



**floor plan**  
 1:100



12.11.14	Issue for PLANNING APPLICATION	
DATE	SUBJECT	
<b>AMENDMENTS</b>		
Robert EMMARDS (Asst. Dip. Civ. Eng.) Chartered Member B.O.A.G. Civil & Structural Design Engineer O.B.S.A. Lic. No. 081176 Building Design - Medium Rise		
<b>PROPOSED DUPLEX</b> Lot 519 on SP 241633 27A HELEN St., Cooktown. Parish of COOK County of BANKS		
UNIT 2 PLAN, NOTES, etc. DRAWN Rodney & Christine Henderson P.E.A. Lic. No. 710230		
JOB No.	415471	SHEET No. 7

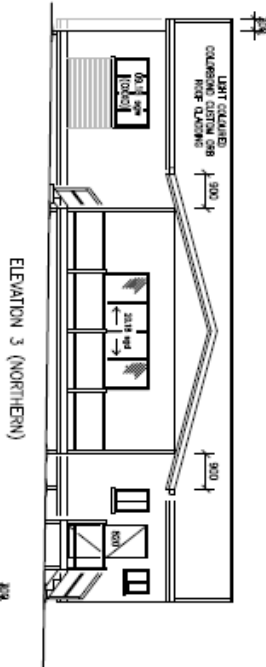


# AGENDA AND BUSINESS PAPERS

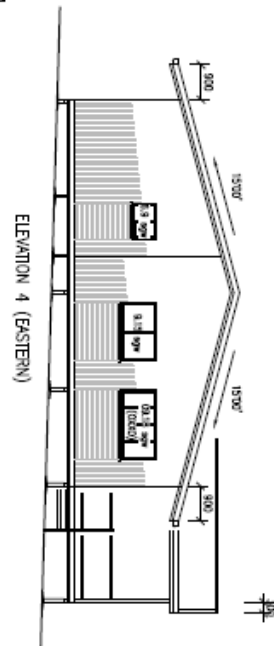
## 19-20-21 January 2015

Verify Dimensions & Levels on site before commencing work.  
Use figured dimensions - DO NOT SCALE  
If in doubt ASK

**SHEET LAYING NOTES**  
4mm VERISLUX  
TRAWERS AT 700 ON WITHIN 1200  
OF BUILDING ENDS, 900 ELSEWHERE  
SHEETS FIXED WITH 2.88 F.C. NAILS  
200 ON WITHIN 1200 OF BUILDING ENDS  
300 ON AT SHEET ENDS, 300 ELSE  
DN0 SHEETS TO BE VERTICAL



ELEVATION 3 (NORTHERN)

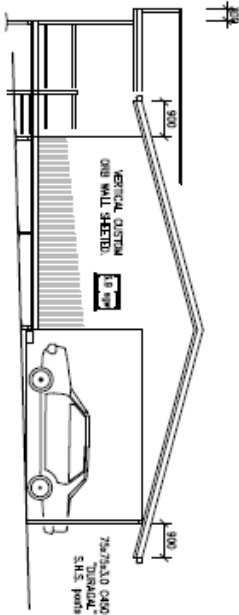


ELEVATION 4 (EASTERN)

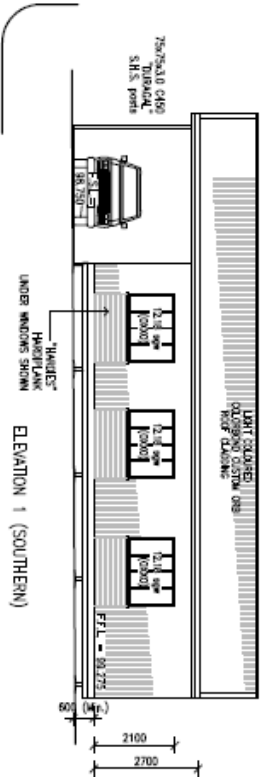
© Copyright  
These drawings and designs are Copyright and shall not be used, copied or reworked without written permission.  
Use figured dimensions in preference to Scan  
Check all dimensions on site before commencing or building work commences.

**ROOF CLADDING NOTES:-**

The roofing shall be 0.42 mm BWR Corrugated in continuous lengths, minimum 12m long. The sheets shall be fixed to the structure with 45/300 (Profile 0550) and on A1250 2000 aluminium ceiling with or over based plate (per firm or selected color). The sheathing shall be steel fixed to the battens with No.12x200mm Hex Head self drilling Type No. 17 strong screws, fixed with response washers in accordance with Australian Standard AS3596, Class 3, with lip fasteners installed at end spots if required.  
Sheets shall be laid in such a manner that the approved side lap runs away from the prevailing weather, a minimum of 30mm shall be provided for projection over gutters. The side lap shall be 100mm in complete overlap.  
All sheeting shall be fixed in a weather free manner, leaving the job clean and weatherproof. Fixed sheet dimensions with 'cut-to-fit' joint supplied by the roof manufacturer. All details (ridges, screws, cuttings, 'traps' etc.) shall be detailed on site.



ELEVATION 2 (WESTERN)



ELEVATION 1 (SOUTHERN)

elevations  
1:100

**GLAZING NOTES (G2)**  
GLAZING THICKNESS TO BE DETERMINED USING AS 1288:2006 - draw in addition, selection & location. DIMENSIONAL THICKNESS CAN BE DETERMINED FROM THE VALUES BELOW.  
THICKNESS ARE ANGLED  
3mm ANGLED 0.750  
4mm ANGLED 1.200  
5mm ANGLED 1.580  
6mm ANGLED 2.180  
NOTE: MINIMUM THICKNESS OF AS1288 WHERE DIMENSION IS BELOW 1200 MUST BE USED.

18/11/14	EDWARDS 2 & 4 CORRECTED	A
12/11/14	HEAD TO DRAWING PREPARATION	
DATE	SUBJECT	

**AMENDMENTS**  
Robert EDWARDS (Asst.Dr./Civ.Eng.)  
Chartered Member B.S.A.O.  
BDA Eng-Design Smart Building Designer  
QUALIFIED GREENSMART PROFESSIONAL  
O.B.S.A. Lic. No. 061178  
Building Design - Medium Rise

**PROPOSED DUPLEX**  
Lot 519 on SP 241633  
27A HELEN St., Cooktown.  
Parish of COOK  
County of BAWMS

ELEVATION 2  
ELEVATIONS, NOTES, etc.  
CLIENT  
**Rodney & Christine Henderson**  
ESX Lic. No. 27100  
JOB No. 415471  
SHEET No. 6A

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

PE2	<b>LANDHOLDER PEST MANAGEMENT INCENTIVE SCHEME</b>	
	<i>Report No.D15/365 from Senior Biosecurity Officer</i>	

**Précis**

This paper is placed before Council for a resolution to continue the Pest Management Incentive Scheme (the Incentive Scheme) for landholders to control weeds and feral animals on properties within Cook Shire.

**Background/History**

An incentive scheme providing financial assistance to landholders to control weed and feral animals on their property has operated across Cape York Peninsula since 2003. To date the scheme was funded by grants obtained through NHT and Caring for our Country programs. The Incentive Scheme entitled landholders located in the Cape York Peninsula Natural Resource Management Region to claim reimbursement for approved expenditure outlaid for control of State or locally declared and/or high priority regional weeds and feral animals on their property.

To be eligible landholders had to meet the following requirements:

- complete an application on the approved form;
- have a current approved Property Pest Management Plan (developed or reviewed within the past 12 months when making application);
- have a property pest assessment (current with last 12 months), completed by a CYWAFAP officer; and
- have an agreed and approved treatment process (by CYWAFAP and the landholder).

Landholders could claim up to \$1000 per property over 25ha in size for control of approved weeds and/or feral animals. Items such as purchase of registered herbicides, purchase of minor equipment, purchase of organic weed control products (i.e Pine Oil), outlay for contractors to undertake mechanical weed removal, ammunition, baits, traps, outlay for contractors to remove feral animals or any other expense that the assessing officer considers would achieve the desired outcomes qualified for reimbursement.

With the winding up of CYWAFAP the Incentive Scheme is no longer available to Cook Shire landholders. As the wet season has commenced it is important that landholders still have assistance available to them to control weeds, without having to wait for the other groups to obtain funding for this purpose. It is proposed to run a Cook Shire Pest Management Incentive Scheme under similar requirements and conditions as the previous CYP Pest Management Incentive Scheme.

**Link to Corporate Plan**

Theme 4.2 Environmental Wellbeing:

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

4.2.1 Undertake the management and provision of the following, to a standard that ensures legislative compliance:

f) Pest and weed management services.

4.2.2 Where resources and capacity allow:

a) Incorporate best practice management as a benchmark in all activities.

**Link to Cook Shire Pest Management Plan**

Objective 4: Pursuing the resources and fostering proactive stakeholder commitment necessary for implementation of effective pest management.

Action#3 – Encourage Land Managers to develop Property Pest Management Plans (PPMP) wherever possible.

Action#5 dot point 1 – Encourage participation of Land Managers in pest management through a system of incentives, including herbicide subsidies for Land Managers with an approved PPMP.

**Consultation**

Previous consultation with land holders identified this as a key component for landholders to be able to undertake pest management on their properties.

CYPPMAG previously supported this program.

**Legal Implications (Statutory, basis, legal risks)**

None identified

**Policy Implications**

None identified

**Financial and Resource Implications (Budgetary)**

Allocations of \$10,000 have been made available for the CYP Pest Management Incentive Scheme in recent years. A similar amount will be allocated for Cook Shire landholders from within the existing Biosecurity budget.

**RECOMMENDATION**

That Council support:

1. a landholder pest management incentive scheme for Cook Shire residents who manage a property of 25ha or greater;
2. to be known as the Cook Shire Pest Management Incentive Scheme;
3. administered by the Biosecurity Unit; and
4. conducted under similar requirements and conditions as the CYP Pest Management Incentive Scheme.

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

PE3	<b>REQUEST TO EXTEND TOWN PLANNING CONSENT PERMIT APPROVAL C142 FOR THE ERECTION OF A DWELLING HOUSE AND CARETAKER'S RESIDENCE – CLYNDER PTY LTD – SUBLEASE 8759 OF SL39507 WITHIN NP153 ON LIZARD ISLAND.</b>	
	<i>Report No.D15/422 from Director Planning and Environment</i>	

**Précis**

A request has been made to Council under Section 383 of the *Sustainable Planning Act 2009* for a four (4) year extension until the 14<sup>th</sup> February 2019 to the currency period for Consent Permit No.34. Consent Permit No.34 being for a Dwelling House and Caretaker's Residence on Sublease 8759 of SL39507 within NP153 on Lizard Island.

The applicant has advised that the reason for requesting this additional extension is that the developer intends to proceed with the development, however requires certainty that the approval will remain current for a reasonable period in order to see the development through to commencement of the use.

**Background/History**

The original approval for this Consent Permit was issued by Council in February 1995 subject to Conditions. This approval was then subject to several Court actions. Council has since granted successive extensions of time to enable compliance with the Consent Permit. The Permit is current until 14 February 2015.

**Report**

In deciding this request under Section 383 of the *Sustainable Planning Act 2009* the assessment manager must have regard to :-

- a) The consistency of the approval, including its conditions, with the current laws and policies applying to the development, including, for example, the amount and type of infrastructure contributions, or infrastructure charges payable under an infrastructure charges schedule;
- b) The community's current awareness of the development approval;
- c) Whether, if the request were refused:-
  - (i) further rights to make a submission may be available for a further development application; and
  - (ii) the likely extent to which those rights may be exercised; and

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

- d) The views of any Concurrence agency for the approval given under Section 385.

The applicant has requested a four (4) year extension to the currency period for Consent Permit 34 (Consent application C142) for the erection of a Dwelling House and Caretaker's Residence on Lizard Island. Council Officer's having consideration of Council's preparation of a new Planning Scheme over the next two (2) years are recommending the extension to the currency period.

The applicant has provided a letter from the Department of National Parks, Recreation, Sport and Racing (Queensland Parks and Wildlife Service) dated 4 December 2012, stating that they have no objection to the extension of the town planning consent period. They were the Referral Agency (Queensland Department of Environment and Heritage) for this application.

Council notes that a Cultural Heritage Management Plan between Clynder Pty Ltd and the Dingaal, Thanil and Nguurruumuunku Clan Groups was signed on the 14<sup>th</sup> June 2007.

The request for an extension of time is, therefore recommended to Council for approval.

**RECOMMENDATION**

That Council grants an extension of time till 14<sup>th</sup> February 2019 to the currency period for Consent Permit No.34 being for a Dwelling House and Caretaker's Residence on Sublease 8759 of SL39507 Lizard Island to enable compliance and delegates the determination of any conditions to Cook Shire Council's Town Planner.

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**



Department of  
**National Parks, Recreation,  
Sport and Racing**

Ref CTS 18434/12

4 December 2012

The Director  
Clynder Pty Ltd  
C/- Conrad Gargett Riddell Pty Ltd  
GPO Box 170  
BRISBANE QLD 4001

Dear Sir/Madam

**RE: Clynder Pty Ltd – Application to Cook Shire Council for extension of Town Planning Consent Permit No. 34**

**Application to Extend Relevant Period: Consent for Erection of a Dwelling House and Caretaker's residence on Sublease 8759 of SL 39507 within National Park 153 on Lizard Island, Lot: 153, Plan Type: NPW203, Plan Number: CP856826**

I refer to your letter of 3 December 2012 requesting support from the Department of National Parks, Recreation, Sport and Racing for a request by Clynder Pty Ltd to Cook Shire Council to extend the term of the above town planning consent.

The Department has previously supported this application in a letter from Mr Alan Feely on 27 May 2008 to which you refer in your correspondence. I have no objections to Clynder Pty Ltd seeking an application to extend the town planning consent. I wish to advise that the requirements and conditions outlined in the Department's letter of 27 May 2008 will continue should the town planning consent be granted.

If you would like to discuss this matter further please contact Mr Damien Head, A/Regional Director, Queensland Parks and Wildlife Service on telephone (07) 4967 7350.

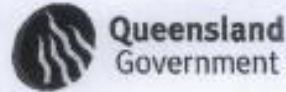
Yours sincerely

A handwritten signature in black ink, appearing to read "Annie Moody".

Annie Moody  
**Executive Director  
Regional Operations East  
Queensland Parks and Wildlife Service**

Level 4  
400 George Street Brisbane Qld 4000  
GPO Box 2454 Brisbane  
Queensland 4001 Australia  
Telephone + 61 7 33305268  
ABN 11 322 391 452

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**



Enquiries Lisa Wiets  
Telephone (07) 3223 1572  
Your reference BR452008/9311  
Our reference 80451724

Queensland Parks and Wildlife Service  
An entity of the  
Environmental Protection Agency

27 May 2008

Mr Steven Wilson  
Clynder Pty Ltd  
GPO Box 669  
BRISBANE QLD 4001

Dear Mr Wilson

**Lizard Island National Park - Clynder Pty Ltd - Revised Proposal**

I write in reference to the above matter, specifically, to your application submitted on the 28 September 2006.

Having regard to all the circumstances including the existence of the sub-lease for tourist and recreation facilities and the Cultural Heritage Management Plan with the traditional owners, I am satisfied that approval of the Application, subject to the following conditions, provides for the permanent preservation, to the greatest possible extent, of the natural condition of Lizard Island National Park.

**CONDITIONS OF APPROVAL:**

1. The Applicant must comply with the Application submitted to the EPA on 28 September 2006, except where otherwise provided as a condition of this approval. Where there is any inconsistency between the Application and the conditions of this approval, the conditions of this approval will prevail.
2. The Applicant must monitor and report on the performance of the EMP, which formed part of the Application, as may be requested from time to time by the Director or an agent of the Director.
3. Prior to the commencement of any works, construction, excavation or other activity impacting on the land within Lot 4, the Applicant must at the Applicant's expense and to the satisfaction of the Director:

165 Ann Street Brisbane  
Queensland 4000 Australia  
PO Box 15108 City East  
Queensland 4002 Australia  
Website [www.epa.qld.gov.au](http://www.epa.qld.gov.au)  
ABN 87 221 158 790

Printed on 100% recycled paper

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

- a) Provide the Director's delegate with a detailed survey plan of the sub-lease boundary;
  - b) Physically mark on the ground the key survey points defining the sub-lease boundary;
  - c) Provide the Director's delegate with a detailed survey plan showing the proposed alignment of the road and the footprint of the tourist accommodation house and caretaker residence;
  - d) Physically mark on the ground the key survey points of the proposed alignment of the road and the footprint of the tourist accommodation house and caretaker cottage.
4. The construction of the tourist accommodation house and caretaker cottage must be wholly within the sub-lease area.
  5. The Applicant must obtain the written permission of the Lessee of Special Lease No. 39507 prior to the commencement of any works if the works occur outside the boundary of the sub-lease but within the boundary of Special Lease No. 39507.
  6. The Applicant must comply with the Cultural Heritage Management Plan between Clynder Pty Ltd and The Dingaal, Thanil and Nguurruumuunku Clan Groups, which was signed by the Dingaal, Thanil and Nguurruumuunku Clan Groups on 14 June 2007. Should any party initiate the dispute resolution process referenced at Paragraph 13 of the Agreement, then the Director must be notified as soon as practicable and works must cease immediately.
  7. The Applicant must keep **CONFIDENTIAL** the Cultural Heritage Management Plan referred to in Condition 6 above.
  8. The proposed development must be used as a tourist and recreational facility and not as the private residence of any person.
  9. The Applicant must take reasonable steps to inform all of the Applicant's invitees and caretakers of the sub-lease that the sub-lease is within Lizard Island National Park, and of relevant conditions of this approval.
  10. The Applicant must comply with all reasonable directions of the Director or the Director's delegate concerning the construction of the tourist accommodation house, caretaker cottage and road.
  11. The Applicant must comply with all laws relevant to the proposed development.
  12. The Director reserves the right for the Director or the Director's delegate to inspect the sub-lease for compliance with the conditions of this approval.

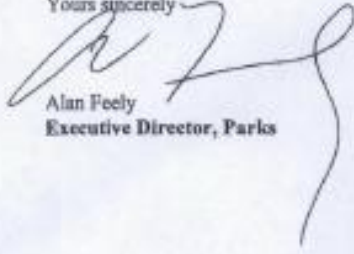


**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

All material requested at conditions 3 and 5 above is to be supplied to this office prior to the commencement of works.

Yours sincerely



Alan Feely  
Executive Director, Parks

27/5/08

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

**LAND TENURE**

LT1	<p><b>PROPOSED CONVERSION OF EXISTING NATIONAL PARK TO NATIONAL PARK (CAPE YORK PENINSULA ABORIGINAL LAND) FOR - JARDINE RIVER NATIONAL PARK BEING LOT 26 ON NPW404, AND DENHAM GROUP NATIONAL PARK BEING LOT 410 ON NPW603.</b></p> <p><b>AND</b></p> <p><b>SECTION 16 LAND EVALUATION PROCESS IN RELATION TO - JARDINE RIVER REGIONAL PARK BEING LOT 1 ON SO806056, AND HEATHLANDS REGIONAL PARK BEING LOT 3 ON JD8 – VARIOUS PARISHES.</b></p>	
	<p><i>Report No.D15/320 from Chief Executive Officer File No. 2.46.2; 2.400.1; 2.670.2</i></p>	

**Précis**

1. No requirements re Denham Group National Park; road, gravel and water requirements re Jardine River National Park, Jardine River Regional Park and Heathlands Regional Park. Continued public access, camping and existing tourist tracks within national parks and regional reserves retained.

**Background/History**

2. By letter dated 17 October 2014, the Department of Aboriginal and Torres Strait Islander and Multicultural Affairs advised Council of the proposed conversion of existing National Park to National Park (Cape York Peninsula Aboriginal Land) (“NP(CYPAL)”) for Jardine River National Park (Lot 26 on NPW404) and Denham Group National Park (Lot 410 on NPW603).
3. Land to be dedicated as NP (CYPAL) is to be jointly managed under the Indigenous Management Agreement (“IMA”) which is mandated by the *Cape York Peninsula Heritage Act 2007* (“CYPHA”) .
4. The Department further advised that it was undertaking a Section 16 *Land Act 1994* (“the Act”) assessment taking into account the provisions of the Act, the *Nature Conservation Act 1992* (“NCA”), the *Aboriginal Land Act 1991* (“ALA”), and the CYPHA and investigating the most appropriate tenure and use of land for Jardine River Regional Park (Lot 1 on SO806056) and Heathlands Regional Park (Lot 3 on JD8) and requested Council’s views on the most appropriate use and tenure of each of the parcels.
5. Provision for the direct conversion of Regional Park is not provided in the ALA; therefore the Chief Executive is required under section 16 of the Act to assess the most

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

appropriate tenure and use of the land prior to allocating tenure. The evaluation must take account of the State, regional and local planning strategies and policies, the objective and principles of the Act and may also take account of commitments and undertakings given by persons under, or arising from a Cape York agreement.

6. In November 2013, the Queensland Government passed significant amendments to the NCA, one of the key areas of reform was halving the number of protected area tenure classes from 14 to 7; the majority of these amendments have been completed - under the new protected area tenure structure:

- national parks, national parks (Aboriginal Land), national parks (Torres Strait Islander land), national parks (Cape York Peninsula Aboriginal land) and nature refuges have remained unchanged.
- national parks (scientific) and national parks (recovery) have become “national parks”.
- conservation parks and resources reserves have become “regional parks”.
- coordinated conservation areas and forest reserves have been grandfathered, excluding the dedication of any new areas under this tenure.
- wilderness areas, World Heritage management areas and international agreement areas have been abolished.
- *forest reserve tenure will subsequently be abolished once the review and reclassification of all remaining forest reserves is finalised.*

Changes to the tenure structure are not intended to impact any of the activities or uses that are currently authorised or restricted under the former tenure classes.

Amendments to the NCA to introduce special management areas (SMAs) and resource use areas (RUAs) also took effect on 28 March 2014. SMAs can now be declared over a national park allowing for the manipulation of an area’s natural or cultural resources for recovery purposes, or the continuation of an existing use, where the use is consistent with maintaining the area’s natural and cultural values. An RUA can now be declared over a regional park at the time of gazettal to allow for the granting of a mining interest.

7. Denham Group National Park was declared in 1994 and managed by the Queensland Park and Wildlife Service (“QPWS”); it is a collection of vegetated coral and sand cays 25k off shore from the Jardine River National Park. The reef and waters surrounding the Denham Group National Park are protected within the Great Barrier Reef Marine Park

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

8. Six Islets and one island make up the park:
- Sinclair Islet is a small 4.1ha vegetated sand cay rising 2m above sea level.
  - Milman Islet is a 22 ha densely wooded sand cay rising 5m above sea level.
  - Aplin Islet is a small 4.9ha shingle mangrove island rising 2m above sea level.
  - Cairncross Islets cover 20.2ha, these are three islets referred to as Cairncross A, B and C and are interconnected by a chain of sand and coral rubble spits – Cairncross A is the largest, rising 4m above sea level.
  - Cholmondeley Islet is a 0.5ha vegetated sand cay rising 2m above sea level.
  - Wallace Islet is 2.2ha cay composed of coral sand and reef rubble.
  - Boydong Island is a 10.5ha coral rubble and sand low wooded isle.

Camping is not permitted on any of the islets/islands within Denham Group National Park, no facilities are provided – the park is open 24 hours a day with access restrictions to some of the islands.

9. Council, in 1989 requested the then Land Administration Commission to open as road the sections of the Bamaga by-pass road through Shelburne and Richardson Pastoral Holdings and Heathlands Resource Reserve.
10. Subsequently, Council requested that the road to Captain Billy Landing within the then Resource Reserve be opened as road.
11. By letter dated 22 May 2003, QPWS advised that it opposed the opening of the road to Captain Billy Landing. The Agency advised that for any revocation of the reserve (for the purpose of the road opening) to be successful, the Agency would have to demonstrate that the revocation did not conflict with the management principles of a Resource Reserve, namely:
- Recognise and, if appropriate, protect the area's cultural and natural resources; and
  - Provide for the controlled use of the area's cultural and natural resources; and
  - Ensure that the area was maintained predominantly in its natural condition.
12. The Agency advised that in its view, the proposed road opening, to provide access to a QPWS camping area, was inconsistent with the management principles for which the area was put aside. Accordingly, the Agency was not prepared to seek the approval of the Queensland Parliament to revoke the area of the road providing access to Captain Billy Landing from the Resource Reserve.

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

13. Continuing, the Agency advised that on an annual basis it undertook the necessary post wet season maintenance to keep the road open and trafficable to members of the public. Furthermore, on an as needs basis, more substantial maintenance of the road was undertaken.
14. QPWS further advised that the by-pass road was a different matter, and it was prepared to address that opening as a separate issue.
15. As it would be difficult to argue against the position taken by the Agency in respect of the Captain Billy Landing road - the Agency considers that road to be an internal access road - Council at its September 2003 meeting, vide Resolution No. 23410, resolved to advise the then DNRM that Council did not intend to further pursue its request for the opening of the access road to Captain Billy Landing due to the opposition of QPWS but was desirous of pursuing the opening of the By-pass Road through Heathlands Resource Reserve.
16. In response to correspondence of 27 May 2008 from the State regarding the proposed conversion of existing Heathlands Resource Reserve to NP (CYPAL), the then Department of Main Roads ("DMR") produced a road planning report which with the endorsement and support of Council (November 2009 meeting, vide Resolution No. 29003), was forwarded to DERM and CYTRTF by letter dated 11 December 2009 advising of the need for tenure resolution for the Northern Peninsula Road ("NPR") through Heathlands Resource Reserve
17. The report included road planning matters, water and gravel requirements, environment considerations and requirements of variable road reserve widths (not less than 120m) - Council agreed to accept a wider than normal road corridor within Heathlands Resource Reserve in accordance with the plans attached to the submitted letter, and its policy position in that regard. See attached letter.
18. It was hoped this report would provide CYTRTF with more detailed information regarding the nature of the NPR through Heathlands Resource Reserve.
19. Council's endorsement of DMR's report letter supersedes Council's correspondence of 18 June 2009 to CYTRT, which conveyed Councils policy position regarding the Rural Road Corridor, in relation to the portion of the Northern Peninsula Road within Heathlands Resource Reserve.

"That as a matter of policy, Council requires a road corridor 1 km wide wherever detailed design has not taken place and the State intends to undertake tenure resolution and include lands in either the Protected Area Estate or Aboriginal freehold tenure. Moreover, Council will require a wider corridor as necessary for any future re-alignment or to encompass other resources such as water and gravel which cannot be located within a 1 km wide road corridor."

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

20. The following Council interests/requirements have been identified – see attached maps “csc prop rds esplnds jardine heathlands 13-1-2015” and “gravel and water 3jd8”;

DENHAM GROUP NATIONAL PARK – L410 NPW603

- Considering the size and area of the islets/island, it would seem impractical requiring esplanades.

JARDINE RIVER NATIONAL PARK – L26 NPW404

- Proposed 60m wide Esplanade both banks of Jardine River – follow high water mark.
- Proposed 60m wide Esplanade along shoreline – follow high water mark.

JARDINE RIVER REGIONAL RESERVE – L1 SO806056

Ussher Point access road

- This access road, from the Old Telegraph Track through the Jardine River National Park to the boundary of the Jardine River Resource Reserve, is dedicated on alignment.
- Ussher Point access road traverses both the Jardine River National Park, and Resource Reserve, it is not formed and is a popular serious 4 wheel drive track to Ussher Point.
- Dedication of the area of road (A – B – C – D) within the Jardine River Resource Reserve would legalise public access.

HEATHLANDS REGIONAL RESERVE

Bamaga Road

Council since 1989 has endeavoured to have the Bamaga by-pass road dedicated (through what are now Bramwell Junction and Heathlands Resource Reserve); since then, the area of road from Bramwell Junction to the Captain Billy Landing access road, has been dedicated.

It is believed that Council, since prior to 1988, has been involved with the maintenance of the Bamaga Road, inclusive to the Jardine River Ferry.

A substantial portion of road within the area requiring dedication is sealed.

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

- Council requires the dedication of road reserve (E – F - G) - on the existing alignment – the road width to be variable to accommodate existing and future construction requirements.
- Engineering Services has identified numerous gravel pits, as indicated on the attached Plan “gravel and water 3jd8”, to which unfettered access must be maintained.
- Access to water for road works is to be maintained.

The above requirements are in keeping with letter dated 11 December 2009 from the then Department of Main Roads, endorsed and supported by Council to the Cape York Tenure Resolution Task Force .

21. The following recommendation is submitted for Council’s consideration.

**Link to Corporate Plan**

22. Key issues 4.3 Sport and Recreation Facilities and Public Access; 4.5 Cultural Heritage, Land Tenure, Native Title and Indigenous Land Use Negotiations and 4.6 Drainage, Stormwater, Road, Footpath and Bridge Network.

**Consultation**

23. Internal.

**Legal Implications (Statutory, basis, legal risks)**

24. Nil identified.

**Policy Implications**

25. In accordance with Council’s Road policy.

**Financial and Resource Implications (Budgetary)/Risk Assessment**

26. Nil.

**RECOMMENDATION**

That the Department of Aboriginal and Torres Strait Islander and Multicultural Affairs be advised in response to its correspondence of 17 October 2014:

Council’s requirements prior to conversion and/or any tenure allocations are set out below;

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

DENHAM GROUP NATIONAL PARK – L410 NPW603

- Council has no requirements.

JARDINE RIVER NATIONAL PARK – L26 NPW404

- Proposed 60m wide Esplanade both banks of Jardine River – follow high water mark.
- Proposed 60m wide Esplanade along shoreline – follow high water mark.

JARDINE RIVER REGIONAL RESERVE – L1 SO806056

Ussher Point access road

- Dedication of the area of road (A – B – C – D) within the Jardine River Resource Reserve would legalise public access.

HEATHLANDS REGIONAL RESERVE

Bamaga Road

Council since 1989 has endeavoured to have the Bamaga by-pass road dedicated (through what are now Bramwell Junction and Heathlands Resource Reserve); since then, the area of road from Bramwell Junction to the Captain Billy Landing access road, has been dedicated.

It is believed that Council, since prior to 1988, has been involved with the maintenance of the Bamaga Road, inclusive to the Jardine River Ferry.

A substantial portion of road within the area requiring dedication is sealed.

- Council requires the dedication of road reserve (E – F - G) - on the existing alignment – the road width to be variable to accommodate existing and future construction requirements.
- Engineering Services has identified numerous gravel pits, as indicated on the attached Plan “gravel and water 3jd8”, to which unfettered access must be maintained.
- Access to water for road works is to be maintained.

The above requirements are in keeping with letter dated 11 December 2009 from the then Department of Main Roads, endorsed and supported by Council to the Cape York Tenure Resolution Task Force .



**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

Council draws the Departments attention to the attached letter dated 11 December 2009, from the then Department of Main Roads, endorsed and supported by Council and forwarded to the Cape York Tenure Resolution Task Force, advising of the need for tenure resolution for the Northern Peninsula Road through Heathlands Resource Reserve.

Furthermore, Council requires continued public access and camping and existing tourist tracks within the national parks and regional reserves retained.

Council strenuously opposes closure of any existing roads or esplanades.

Council requires the above areas of roads as depicted on the attached Map “csc prop rds esplnds jardine heathlands 13-1-2015”, to be dedicated, thus legalising the existing road network. This is in keeping with Council’s road policy:

“That Council’s attitude/intent regarding river/creek/beach access etc is to request/require legal public access wherever possible. Council intends to request/require esplanades/access roads plus adjacent reserves (landing, recreation, etc) wherever possible. Any Council request/application should be processed with the foregoing in mind.”

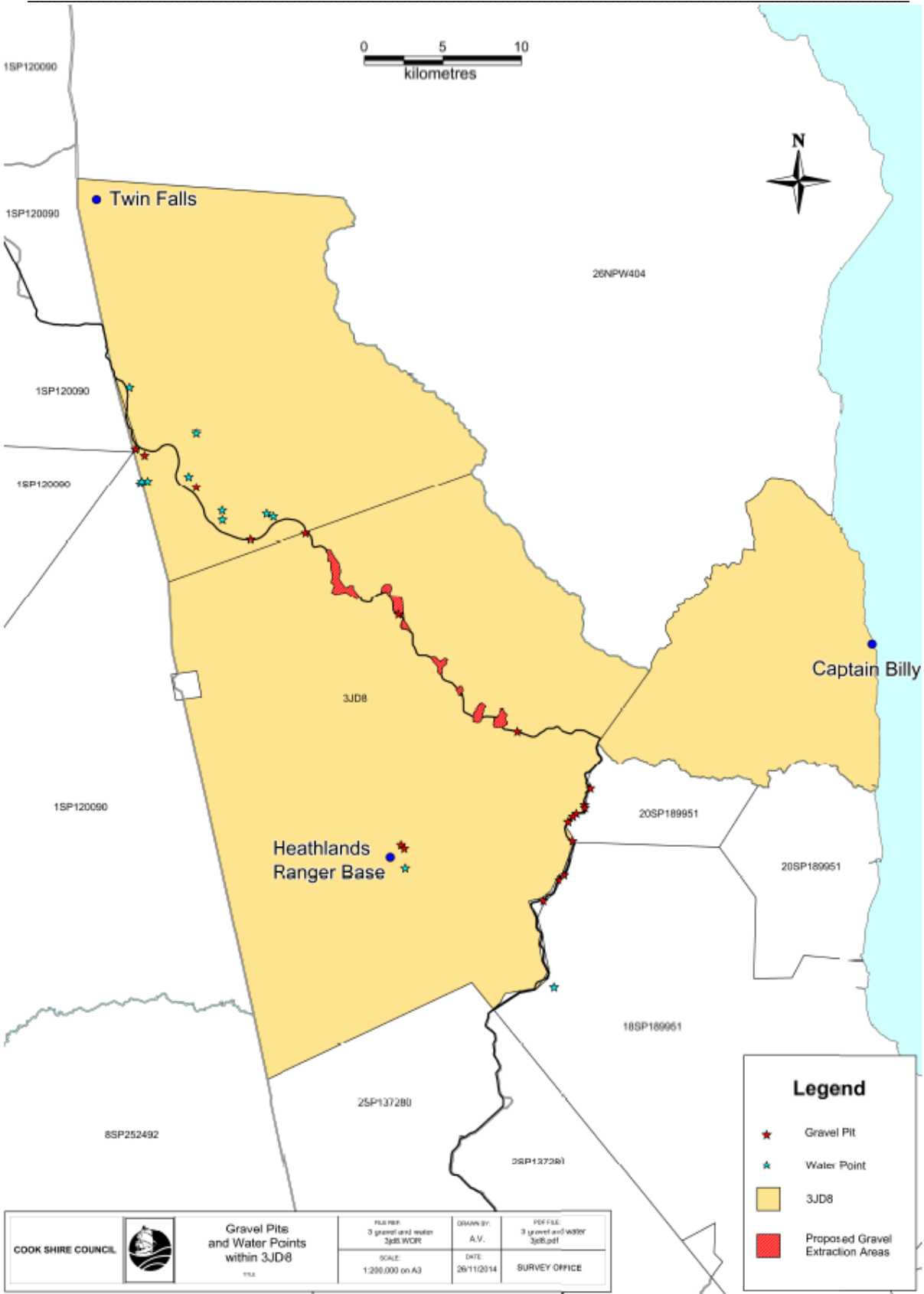
Att.

Current Tenure of Jardine Aggregation  
Gravel Pits and Water Points within 3JD8  
Council Road Opening and Closure requirements  
Endorsed Main Roads Report dated 11 December 2009

**AGENDA AND BUSINESS PAPERS  
19-20-21 January 2015**

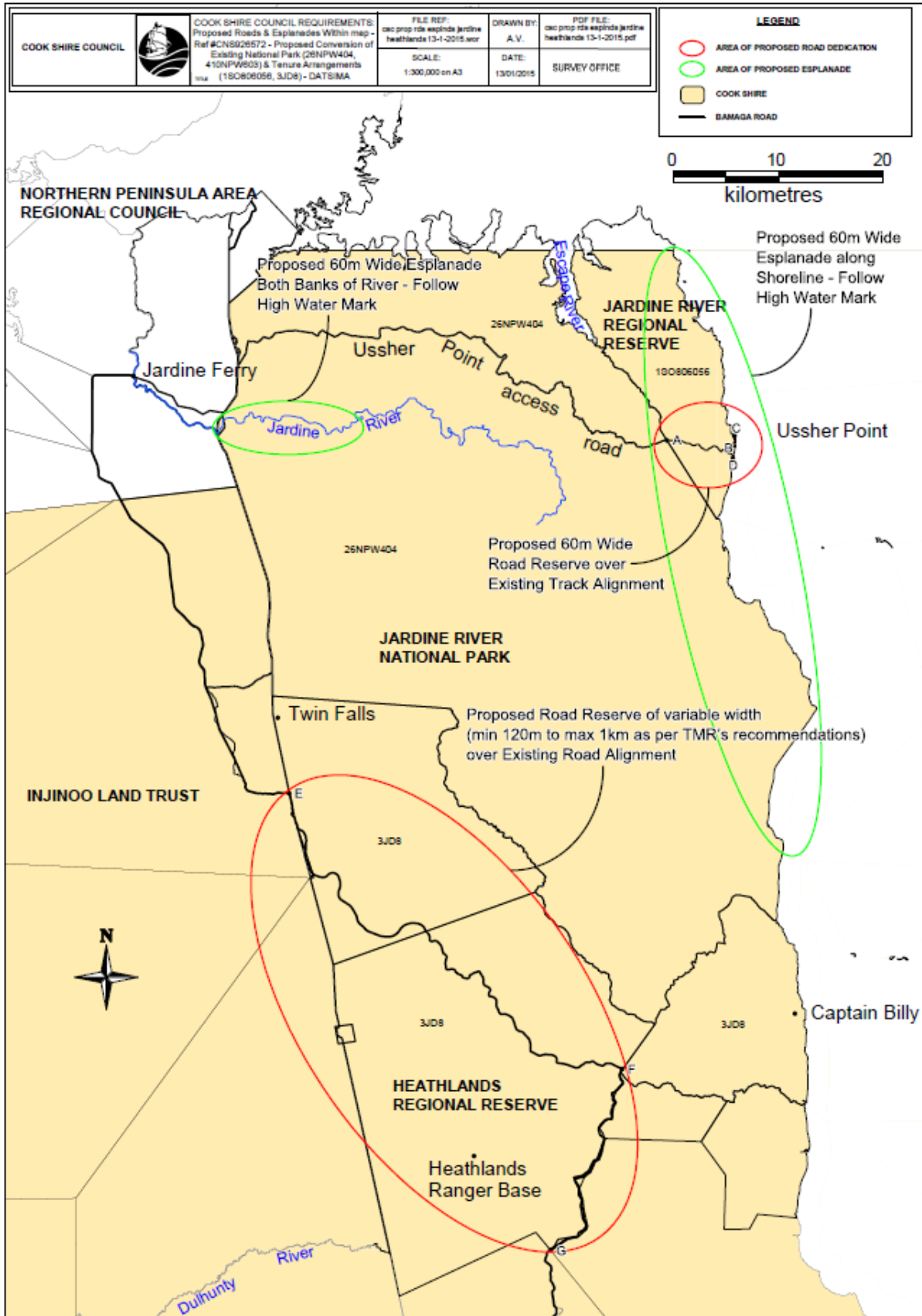


**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**



 <b>COOK SHIRE COUNCIL</b>	 <b>Gravel Pits and Water Points within 3JD8</b>	FILE REF: 3 gravel and water 3jd8.WOR	DRAWN BY: A.V.	PDF FILE: 3 gravel and water 3jd8.pdf
		SCALE: 1:200,000 on A3	DATE: 26/11/2014	SURVEY OFFICE

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**



**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---



11 December 2009

Mr Cyril Cordery  
Director  
Cape York Tenure Resolution Task Force  
3rd Floor, William McCormack Place  
5b Sheridan St, PO BOX 937  
CAIRNS QLD 4870

Department of **Main Roads**

Attn: Nathalie Mlynarik

Dear Nathalie,

**Re: Proposed conversion of existing Heathlands Resources Reserve to “national park (Cape York Peninsula Aboriginal Land)” – Cape York Peninsula Heritage Act 2007, Aboriginal Land Act 1991, Nature Conservation Act 1992**

I refer to previous correspondence dated 27 May 2008 from the then Director (Conservation, Strategy & Planning) of the Environmental Protection Agency regarding the need for tenure resolution for the realignment of the Northern Peninsula Road through Heathlands Resource Reserve.

We apologise for the delays in clarifying the Department of Transport and Main Roads (TMR) position over the affected lands.

#### **1. ROAD AUTHORITY**

The Northern Peninsula Road (NPR) is a local government road, under the authority of Cook Shire Council (CSC).

TMR wishes to advise that Cook Shire Council has previously sent correspondence to the Cape York Tenure Resolution Taskforce on 18 June 2009 regarding local government road corridors in Cook Shire.

TMR's interest in the NPR stems from the following:

- The status of the NPR as a local road of regional significance (LRRS).
- The allocation of maintenance and upgrade funds at 100% under the State's Transport and Infrastructure Development Scheme (TIDS).
- The joint State and Federal Government funding of the NPR upgrade between Captain Billy's Landing road intersection and Sailors Hill. TMR is handling the planning and upgrade of this section on behalf of Cook Shire Council.

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

It is hoped this correspondence provides the Cape York Tenure Resolution Taskforce with more detailed information regarding the nature of the NPR through Heathlands Resource Reserve. This letter supersedes the Cook Shire Council correspondence of 18 June 2009 with respect to the portion of the NPR located on the Heathlands Resources Reserve, and is endorsed by the Cook Shire Council (refer Attachment 2).

**2. ROAD PLANNING CARRIED OUT FOR HEATHLANDS RESERVE**

TMR is obliged to provide a transport network for the community to utilise that is both safe, and efficient. To this end, TMR has undertaken preliminary planning for the area such as can be completed within the constraints of available funds and resources. This planning allows TMR to be sufficiently confident that an adequate long-term alignment within current design standards can be constructed in the proposed road reserve. The planning recognises the following circumstances:

**2.1 Planning Circumstances relating to the Road Reserve over the Heathlands Resource Reserve**

- a) The existing road through the Heathlands property will remain in use for an indefinite period until such time as demand for upgrading, and available funding necessitates that TMR/CSC upgrade the existing road. The existing road will of course need to remain in service until such time as any newly constructed sections are opened to traffic.
- b) Due to the nature of the terrain and the existing road's low standard, any upgrade to the road to an appropriate standard for safety and transport efficiency will require in many instances that the upgraded road will not be on exactly the same alignment as the existing road. The future safe alignment will generally be "straighter", without unsafe sharp curves and "ups and downs". The information available was used to select probable routes for the long-term alignment. In some cases, the nature of the terrain is such that a single route can not be selected, due to the numerous unknowns that still have to be investigated. These unknowns can not be investigated and the routes finalised at this time because of prohibitive costs involved in this detailed planning, including detailed environmental investigation, drilling, geotechnical investigations of each route, detailed surveys (air survey was used for the planning, and can be very inaccurate in areas of dense vegetation or forest), drainage investigations, cultural heritage investigations, and engineering design of each possible route. Based on the available information, TMR is able to identify an envelope around the possible feasible road routes and their associated earthworks.
- c) The Heathlands Resource Reserve is in the process of transfer to NP(CYPAL) tenure. Once the transfer has been completed, under the current legislation there will be almost no possibility that any changes can be made to the road reserve boundaries to acquire additional land from the NP(CYPAL) tenure for realignment of the road.

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

- d) It is therefore clear that the reserve needs to cater for both existing road usage, as well as the long-term future road purposes, notwithstanding that there may be a delay of many years in the upgrade of the road to the long-term configuration.
- e) When the road is upgraded to the final alignment, the portions of the road reserve that are no longer required for road purposes will be available for transfer to an NP(CYPAL) tenure.
- f) In the interim period during which the road reserve may be wider than the normal reserve width required for the final alignment, Council will be the steward of the land and manage it according to best practices. Any excess width of reserves will not be unnecessarily impacted on prior to construction of alignment upgrades in the future.
- g) The proposed road reserve will form the natural route across the Heathlands property in the future for minor utilities (excluding major utilities such as, but not limited to, overland electrical supplies, bulk gas pipeline, etc), and thus will preserve the NP(CYPAL) tenures from future encroachment by these minor infrastructures.
- h) Water points to be used for road construction purposes have been identified, and will be appropriately licensed (applications are currently before DERM). In order to facilitate the maintenance of the existing road, and the future construction of the upgraded road, it will be necessary for TMR/Council to access these water points, and extract water in accordance with the licensing conditions and best practices. In general, these water points are not contained within the road reserve proposed under points a) to g) above. This means that the water point and the access to the water point cannot be transferred to an NP(CYPAL) tenure, as this will effectively prevent the future use of the water point by TMR/Council. Therefore, the water point and the access from the road reserve to the water point are planned as Freehold tenure in favour of Council.

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

- i) Gravel pits to be used for road construction purposes have been identified, tested for suitability, and their extents and yields investigated, and will be appropriately licensed (applications are currently before DERM). In order to facilitate the maintenance of the existing road, and the future construction of the upgraded road, it will be necessary for TMR/CSC to access these pits and work them according to approved best practices, and the licensing conditions. In general, these pits are contained wholly or partially within the road reserve proposed under points a) to g) above. In the cases where the pit extends to areas outside of the envelope required for the purposes of the road as determined by points a) to g) above, the reserve has been locally extended to include the extents of the pit. In circumstances where the pit is not contiguous with the proposed road alignment envelope, the pit and the access to the pit can not transferred to an NP(CYPAL) tenure, as this will effectively prevent the future use of the pit by TMR/CSC. Therefore, the pit and the access from the road reserve to the pit are planned as local extensions to the road reserve. These pits will need to remain operational until the final alignment is bitumen sealed, but TMR is unable to accurately determine whether the quantities will be adequate due to future funding determining when the seal will occur. In the event that there is a very long period for which gravel surfacing is needed, further gravel resources may be required from the Resource Reserve or NP(CYPAL) area.

## **2.2. Planned Road Reserve**

The attached drawings indicate the necessary road reserve to accommodate the above planning circumstances:

Plan No D11\_134 Issue A : Overall Layout and Key Plan showing locations of detail drawings.

Plan No D11\_133 Issue A (Sheets 1 to 9): Detail Plans showing Road Reserve, Waterpoints, Access Tracks, and Gravel Resource Areas.

The key on the drawings indicates the particular planning circumstances that apply over each section of the reserve, for the information of DERM. These planning circumstances are grouped into the following categories:

- **Reserve bounded by brown lines and shaded grey (refer to sheet 1 of 9):** The reserve is 120m wide and follows the existing road alignment. This width allows for the future operation of the road, and necessary maintenance activities to drainage elements (eg: diversion drains) to occur without encroachment on to NP(CYPAL) tenures.



**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

- **Reserve bounded by blue lines and shaded grey (refer to sheet 1 of 9):** The reserve is of variable width (not less than 120m) to accommodate both the existing road alignment and the future long-term road alignment. Planning unknowns, and constraints on preparing detailed planning preclude selection of the actual long-term alignment at this time. The reserve comprises the minimum envelope of land that contains the range of feasible alignments, and will allow TMR/CSC to construct the future safe and efficient long-term alignment without encroaching on NP(CYPAL) tenures. When the road has been constructed to the long-term alignment, and the existing route is no longer required, the reserve will in most cases be reduced to a 120m width along the finalised alignment, and the redundant portions of the reserve will be appropriately rehabilitated and available for transfer to NP(CYPAL) tenure.
  
- **Green lines (refer to sheet 1 of 9):** The green lines represent the reserve allocated by DERM on the Draft version SP189934 for road purposes. This previous allocation is the same as the reserve bounded by the blue as determined by TMR over significant portions of the route, on one side at least. Where the reserve bounded by the blue line is wider than the Draft SP189934 reserve, the additional width is to accommodate future road upgrades to achieve the long-term safe alignment.
  
- **Water point and 60m wide access (refer to sheet 7 of 9):** Water Points (currently being approved) are shown as blue dots. The land at the water point and a 60m wide access is to be transferred to CSC Freehold tenure. This is to ensure that TMR/CSC is able to source water at these points for road purposes, while at the same time allowing TMR/CSC to restrict access to the water point by the general public, and ensure appropriate management of the water point in accordance with permit conditions and accepted best practices. At this time, only the location of the water points themselves have been coordinated. Indicative extents of the water point area and access location are shown on Plan D11\_133 Issue A by means of wavy line 'balloon' representation. The actual extents of land required will be available and confirmed to DERM by the end of November 2009. TMR/CSC request that location of the Freehold boundaries are noted as approximate at this time.
  
- **Gravel Resource Area (refer to sheet 4 of 9):** Gravel Resource Areas are indicated by means of a black dot shading within a black outline. Gravel Resource Areas are contiguous with the road reserve and included within the blue road reserve boundary. No special land tenure for the Gravel resource Areas is required and TMR/CSC will therefore be able to conduct gravel sourcing activities for road purposes within the road reserve.
  
- **Orange Existing Road Centreline (refer to sheet 1 of 9):** The existing road alignment is shown to clarify the reason for the extent of the reserve contained within the blue line for the purpose of ensuring the tenure of the existing alignment.

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

- **Magenta Preliminary Concept Long-term Road Centreline (refer to sheet 1 of 9):**  
During the engineering planning of the long-term road alignment, an envelope of the most promising alignments was determined, as contained within the blue road reserve boundary. At this time, the further planning to confirm the actual alignment can not be completed, due to cost and other constraints. To assist visualisation of the long-term alignment, the most promising alignment resulting from the preliminary concept engineering analysis is shown as the magenta line. Please note that further investigations will almost certainly reveal governing constraints that result in portions (or perhaps even the entire length) of the actual long-term alignment being different from the preliminary concept alignment. Once the land within the blue line is transferred to road reserve, TMR will be expected to engineer the Long-term Alignment within the reserve envelope encompassed by the blue line, notwithstanding constraints yet to be revealed, as encroachments on to the NP(CYPAL) tenure will be virtually impossible under current legislation.

### **3. MOTIVATION FOR THE ABOVE ROAD RESERVE OPENINGS**

The TMR notes that section 16 of the Land Act 1994 (Deciding appropriate tenure) identifies the need for the Department of Environment and Resource Management (DERM) to broadly consider many principles in deciding appropriate tenure.

To assist DERM in the determination of the appropriate tenures, TMR presents the following facts for consideration with respect to the principles.

#### **3.1 Project Background**

##### **a) Road Functions**

The NPR is the only road to the Northern Peninsula Area communities of Bamaga, Injinoo, New Mapoon, Seisia and Umagico. The NPR also connects to the ferry service to the Islands of the Torres Strait. Traffic volumes on the NPR vary between 0 to 400 vehicles per day depending upon the time of year, with high tourism demands during the dry season (which in turn realise economic opportunities for local communities).

##### **b) Proposed Road Improvements and involved parties**

The nature of the works for the current upgrade of the NPR is detailed in the Review of Environmental Factors (Planning) Heathlands. The works generally consist of improving the NPR from a narrow road on a poor alignment, to a road on an alignment suitable for a minimum 80 km/h speed environment. However it is expected that future demand for safe, reliable access will require upgrading of the road over time to a sealed road on a higher speed alignment in order to realise the Government's objectives of viable, economically sustainable communities on Cape York.

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

The project is supported by the Regional Organisation of Councils for the Cape York Regional Road Group (ROCCY RRG). The ROCCY RRG consists of the Aboriginal Shire Councils in Cape York, Cook Shire Council, and TMR.

The upgrade of the NPR is being undertaken by the Northern Peninsula Construction Alliance (NPCA). This alliance is made up of a local (indigenous) workforce from the Northern Peninsula Area. This alliance has also been engaged to undertake maintenance for a 150 km section of the NPR. This alliance was organised through TMR's Remote Communities Service Unit (RCSU) based in Cairns.

The RCSU's charter is to develop and deliver capacity building (workforce skilling) projects for remote indigenous community councils, which includes delivery of nationally accredited training programs and advice to indigenous community councils on transport infrastructure related issues.

TMR seeks both certainty and flexibility in the *Cape York Peninsula Heritage Act 2007*, such that roadworks in the affected lands may be undertaken in a timely and cost effective manner, for the betterment of communities in the Northern Peninsula Area.

### **3.2 Environmental Considerations**

The Heathlands parcel has been identified for transfer to NP(CYPAL) tenure. The purpose of an NP(CYPAL) tenure is to conserve the land in perpetuity as an environmental reserve under local Aboriginal community management.

A common interpretation of the phrase "conserving the environment" is that this refers to the conserving of natural values such as flora, fauna, ecosystems, bio-diversity, and other values that are frequently referred to as "green" values.

TMR is a supporter of such "green" values. One of the four guiding principles of TMR's Strategic Plan is: *Environmental management to support environmental conservation.*

However, TMR notes that under the Environmental Protection Act (1994), the definition of an environmental value is:

- a) **a quality or physical characteristic of the environment that is conducive to ecological health or public amenity or safety;**
- b) *another quality of the environment identified and declared to be an environmental value under an environmental protection policy or regulation.*

The *Environmental Protection Act (1994)* definition of environmental includes:

- a) ecosystems and their constituent parts, **including people and communities;** and
- b) all natural and **physical resources;**

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

- c) the qualities and characteristics of locations, places and areas, however large or small, that contribute to their biological diversity and integrity, intrinsic or attributed scientific value or interest, amenity, harmony and sense of community; and
- d) the **social, economic, aesthetic** and cultural conditions that affect, or are affected by, things mentioned in paragraphs (a) to (c).

TMR is of the opinion that public roads are physical resources which have profound social and economic impacts on the people and communities of Cape York. Roads provide a connection between the community and the rest of Australia, places of residence and places of work, provide access to community and social services, but are also a significant cause of death and injury within the community.

Therefore road infrastructure per se complies with the definition of an environmental value that is worthy of protection due to the fact that the road is conducive to the public amenity, health, safety, and economic development. Any action that would limit the development of that road infrastructure to increase its contribution to public safety, amenity, health, and economic development, should therefore be considered to be contrary to the requirements of the *Environmental Protection Act (1994)*, which would seek to preserve and improve those outcomes.

### **3.2.1 Roads and Environmental Considerations at Heathlands**

Some further facts to consider in this regard are:

- a) The existing road was never originally constructed to environmental best practices, as these best practices were unknown at that time.
- b) The upgraded future road on the long-term alignment will be environmentally superior to the existing road alignment in all of the following respects:
  - a. Environmental impacts will be minimised through use of best environmental practices, including:
    - i. Avoidance of, or offset of, any environmentally sensitive areas.
    - ii. Minimal interference with watercourses and flow regimes.
    - iii. Provision of environmental connectivity as necessary.
    - iv. Reduction of future long-term reserve widths to 120m (inclusive of drain maintenance allowance).
    - v. Reduction in length of road through efficient design, and therefore less total cleared area (after revegetation). The existing road is 72.3km long, while the long-term preliminary concept alignment is 62.4km long, a reduction of 9.9km. The non-vegetated area of the existing road (for 6.5m nominal width) is 47ha, while for the long-term road it is 56ha (for 9m seal width). However the tight curvatures of the existing route regularly require sightline clearing for safety, and this slashed area will be substantially higher for the existing road than for the long-term alignment.
  - b. Elimination of the harmful effects of a gravel road, including:
    - i. Dust smothering vegetation.

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

- ii. Consumption of water and gravel resources for maintenance and associated operation of pits on a continuous basis.
  - iii. Low frictional resistance, poor visibility due to dust, poor surface condition prior to maintenance, all contributing to high safety risks, and resulting in high accident costs and trauma.
  - iv. High continuous economic cost due to continuous maintenance and severe wear and tear on vehicles, and the knock-on effects resulting in high transportation costs and leading to high cost of living for the most economically vulnerable communities in Australia.
  - v. High social and economic cost due to prevention of access in wet season by boggy conditions. This lack of road access leads to a tripling of transportation costs and raises cost of living during the wet season.
  - vi. Requirement for the most disadvantaged members of the community to utilise the most costly vehicles available (4 wheel drives).
- c) Lasting effects on water courses will be minimised as the sealed road will **not**:
- a. Require continuous consumption of maintenance water as per a gravel road.
  - b. Have erosion by rainwater runoff from the gravel surface, resulting in increased turbidity and deposition in and degradation of pristine watercourses on a continuous basis.

### **3.2.2 Balanced Conclusions with respect to the Road and Environment**

#### **a) Original DERM Proposal SP189934**

Preserving the existing road alignment only (ie: as per the Draft SP189934 green lines on the attached drawings) causes severe and permanent environmental drawbacks to be entrenched. This is therefore an unsatisfactory approach, as TMR/CSC is prevented from ever performing the upgrade to the Long-term Alignment, and realising the environmental and economic benefits that this will bring.

#### **b) TMR Proposal for Road Purposes Tenures of this correspondence**

The TMR proposal for the road reserve to be transferred (ie: within the blue and brown lines of the attached drawings) is environmentally sound practice, as it:

- Enables the environmentally unsatisfactory aspects of gravel roads to be eliminated.
- It allows best environmental practice for road provision to occur.
- It allows the long-term road reserve footprint to be reduced to a constant 120m width and shorter length.
- It achieves the Government's and *Environmental Protection Act (1994)*'s objectives with respect to the safety, amenity, and health of the Cape York communities.
- It achieves safe and sustainable travel and freight movement.

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

### **3.3 The Objectives of the Government**

TMR believes that it is important to understand the main objectives of the Government with respect to Cape York Peninsula. These are twofold:

Firstly: To reduce the gap in lifestyle and opportunities between the Cape York communities and other Qld communities; and

Secondly: To preserve the environmental values of Cape York.

The Government is very aware of the 'gap' that exists between the living standards and conditions and opportunities of the Cape York communities and the communities in other parts of Australia. The Government is aware of the inequity that this represents, and seeks to implement measures across a broad front that will be effective in reducing this gap.

In recent times, there have been numerous comments by indigenous Leaders that the indigenous communities' interests with respect to many issues have not been fairly considered, resulting in perpetuation and entrenchment of the 'gap'.

The TMR proposal seeks to reduce the 'gap' through achievable improvement of the road over time.

### **3.4 Sustainability**

It is TMR's opinion that under the *Environmental Protection Act (1994)*, a considered balance needs to be struck with respect to sustainability of the environmental reserves, and sustainability of the indigenous communities.

#### **3.4.1 Impact of Road Infrastructure on Sustainability of Indigenous Communities**

Infrastructure Australia, the Federal Government agency responsible for prioritising national infrastructure priorities identified in its May 2009 report *National Infrastructure Priorities*, "the inadequacy of roads, public transport, communications, and electricity infrastructure provided to indigenous communities is nationally significant" in Cape York. Roads are not only essential for providing access to indigenous communities, but are the pre-cursor for any hard and soft infrastructure development within the indigenous communities. The Federal Budget for 2009 allocated \$21 million for remote community roads in Cape York over the period 2009 – 2011 where "many roads in Cape York are closed during the wet season for lengthy periods, limiting community access to employment and essential services and increasing the cost of goods".

## AGENDA AND BUSINESS PAPERS 19-20-21 January 2015

---

Roads provide opportunities for access to a range of public and private (economic) opportunities, such as access to education, health services and employment opportunities amongst others. Efficient road access to remote areas is also known to significantly reduce the cost of basic items, such as fresh foods and building materials, goods and services. These impacts of provision of good road infrastructure are vital to both the Commonwealth and State Government's objective for closing the gap in the health and wellbeing of indigenous communities.

### **3.4.2 Road Safety and Community Sustainability**

Due to socio-economic circumstances and vehicle and human factor conditions, indigenous people living in remote communities are more likely to be affected by behavioural factors (unlicensed driving, alcohol, speeding, no fitted restraints, vehicle overcrowding, etc), more likely to be driving an older vehicle (with less safety features and potential vehicle faults), and more likely to be driving on roads of poorer conditions (unsurfaced and rough) than non-indigenous people. Furthermore due to remote location, emergency response and quality of medical services following a crash are more likely to result in poorer recovery outcomes.

**These factors have resulted in indigenous people being 2.9 times more likely to die from a road accident than non-indigenous people.** With respect to the NPR, the road crash history (1998 – 2007) is such that roll-over crashes represent 50% of all injury crashes. This is a particularly severe road crash type, more likely than not to result in a more severe injury outcome.

Improvement of the road infrastructure may be expected to significantly improve the road death toll on Cape York, and reduce costs and detrimental effects on the quality of life of the community that accompany any road death, or even any accident. As such, the maintenance of remote community roads such as the NPR to a safe and efficient standard will directly contribute to a reduction of the "gap" in accordance with the objective of the Government.

### **3.4.3 Impact of Roads on the Sustainability of Environmental Reserves**

Roads are often considered to be a significant threat to an environmental reserve, and that any further development of any road in or adjacent to an environmental reserve will therefore result in increased degradation of the environmental reserve, and should be not be permitted. This premise results from observation of outdated practices with respect to road provision (which outdated practices are no longer part of TMR's methodologies).

Best practice road provision in upgrading roads to the long-term configuration may result in:

- Removal or mitigation of the bulk of the long-term harmful aspects associated with the existing road.
- A net environmental benefit, which benefit is sustainable in the long term.

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

The premise results however in perpetuation of bad environmental practices, and results in increased environmental harm with time. This is counter to the Government's objective for the preservation of the environmental values of Cape York, and is also counter to the *Environmental Protection Act (1994)*.

**3.4.4 Balancing the achievement of Benefits for Safety, the Environment, and the Economy in a Sustainable Fashion**

From the foregoing, it is clear that a balance is required between the apparently competing objectives of the Government, namely community upliftment, and environmental preservation. Both goals need to be achieved:

- The Heathlands NP(CYPAL) tenure will preserve a significant environmental area, in accordance with the Government's objective.
- The achievement of the benefits of preservation of the reserve can not be at the detriment of the Government's other objective to uplift the communities of Cape York.
- As demonstrated above, the very same road upgrading works that will bring safety, amenity, health, and economic benefits to the communities, will also have significant benefits to the environment as well. These include the important sustainability of the environment benefits that arise from permanent removal of the significant ongoing harmful effects of a gravel road.
- Under the current NP(CYPAL) tenure legislation, there is little flexibility with respect to conversion to other land uses.
- In order to realise the permanent future benefits to the environment and the communities, it is necessary for a temporary additional allocation of land for the purposes of accommodation of road infrastructure. This allows the existing road to be formalised, and the future long-term road to be developed in stages over time as demands and funding dictate.
- The additional land allocation is temporary in nature. When the long-term road alignment is achieved, the redundant areas of the reserve will be rehabilitated and available for transfer to NP(CYPAL) tenure. The final long-term reserve will occupy a smaller cleared footprint than the existing road, and may be environmentally far superior.
- In the long term, once the upgrades to the long-term road alignment have been achieved, sustainable benefits will have been maximised for the Government:
  - The area of NP(CYPAL) will be maximised, and harmful effects minimised.
  - The safety, amenity, health, and economic benefits for the communities that arise from the improved road infrastructure will be maximised.



**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

- Due to the lack of flexibility in the NP(CYPAL) legislation, there is no other way of ensuring the optimal attainment of both of the Government's objectives.

The TMR proposal for land tenures for road purposes within the Heathlands Resources Reserve achieves the correct balance between the objectives of the Government in the long term.

#### **4. DECIDING APPROPRIATE TENURE**

The attached plan *Northern Peninsula Road Gravel & Water Resources & Road Reserve* identifies TMR/CSC's requirements for road through the Heathlands Resources Reserve. The plan generally provides for a road reserve width of 120 m or wider for the purposes of locating the existing and likely future road alignments, and can also accommodate minor utilities, thus alleviating further future impacts on NP(CYPAL) tenures.

The plan also identifies existing known gravel and water resources required for maintenance and capital improvements to the road. TMR/CSC wishes to advise that some water resources are located some distance from the road, as such provision needs to be provided for access to these resources.

TMR/CSC stresses that any tenure resolution should provide TMR/CSC with the ability to build and maintain roads utilising gravel resources within the road reserve, and water resources adjacent or within the reserve. As discussed under section 3.4.4, this is a temporary necessity that will largely fall away when the long-term sealed road is achieved.

It is TMR's view that the maintenance and improvement of the Northern Peninsula Road is nationally significant. Hence the TMR proposal presented above is consistent with all principles under section 4 of the Land Act, but particularly "development" and "community purpose".

#### **5. IMPLEMENTATION OF THE TMR PROPOSAL**

##### **5.1 Cost associated with revision of the Survey Plan**

TMR is aware that the above proposed reserve is significantly different from the draft SP189934 already prepared by DERM. SP189934 represents a considerable amount of work undertaken by DERM in good faith, at a significant cost.

TMR is also aware that the changes to the road reserve proposed above are in the interests the long term road provision, and the expected associated benefits to the communities of Cape York in terms of economic support, amenity, health, and road safety.

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

TMR will therefore pay for all survey and plan preparation costs involved in the proposed revisions to SP189934, such that DERM does not incur any further expenditure in this regard. All work involved in the preparation of revisions to SP189934 will be done to the requirements of DERM.

**5.2 Environmental practices when constructing and maintaining roads**

TMR commits to developing best practices in conjunction with DERM such that net environmental benefits, and sustainable road provision, is achieved.

**6. FURTHER INFORMATION**

If you require any further information, please do not hesitate in calling Mr. Peter McNamara, Manager (Corridor Management) on 07 4050 5010.

Yours sincerely



Ron Michel

**Regional Director (Cairns)**

**Attachments:**

1. Northern Peninsula Road through Heathlands Resource Reserve – Gravel & Water Resources & Road Reserve Drawings
2. Endorsement of this Submission by Cook Shire Council

AGENDA AND BUSINESS PAPERS  
19-20-21 January 2015



COOK SHIRE COUNCIL

6 1 1 0 9 2 0 9

CM 16-17-18 November 2009  
Our Ref: MJE 2.443.1; 2.85.211  
Your Ref: File No. 830/535  
Date 19 November 2009

FILE NO: .....  
PROJECT NO: .....  
P/E NO: .....  
INITIALS: .....

The Regional Director (Cairns)  
Department of Transport and Main Roads  
PO Box 6185  
CAIRNS QLD 4870

Att. Nigel P Caffyn-Parsons

Dear Sir,

**RE: ROAD CORRIDOR WITHIN HEATHLANDS RESOURCE RESERVE  
(LOT 3 ON PLAN JD8 VARIOUS PARISHES).**

I refer to the email dated 10 November 2009, to Council's Land Tenure Officer, and the attached draft letter, regarding the above.

Please note that Council considered the matter at its 16-17-18 November 2009 meeting, when it resolved to advise your Department that Council agrees that the above referred to draft letter supersedes Council's correspondence of 18 June 2009 (which conveyed Council's policy position regarding the Rural Road Corridor) in relation to the portion of the Northern Peninsula Road within the Heathlands Resource Reserve.

Council further resolved to accept a wider than normal road corridor within Heathlands Resource Reserve in accordance with the plans attached to the submitted draft letter, and its policy position in that regard.

Moreover, Council resolved to accept freehold tenure from the State over the identified water points and the access thereto.

Accordingly, Council resolved to endorse the various proposals set out in the draft letter.

Furthermore, Council formally resolved to thank your Department for its assistance in this matter.

10 Furneaux Street Cooktown (cur Hope Street)  
PO Box 3 COOKTOWN QLD 4895  
Phone: 07 4069 5444  
Fax: 07 4069 5423  
Email: [mail@cook.qld.gov.au](mailto:mail@cook.qld.gov.au)


**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

Should you have any further enquiries with regard to this matter, please contact Michael Edmonds, Council's Land Tenure Officer on 0427 695 588.

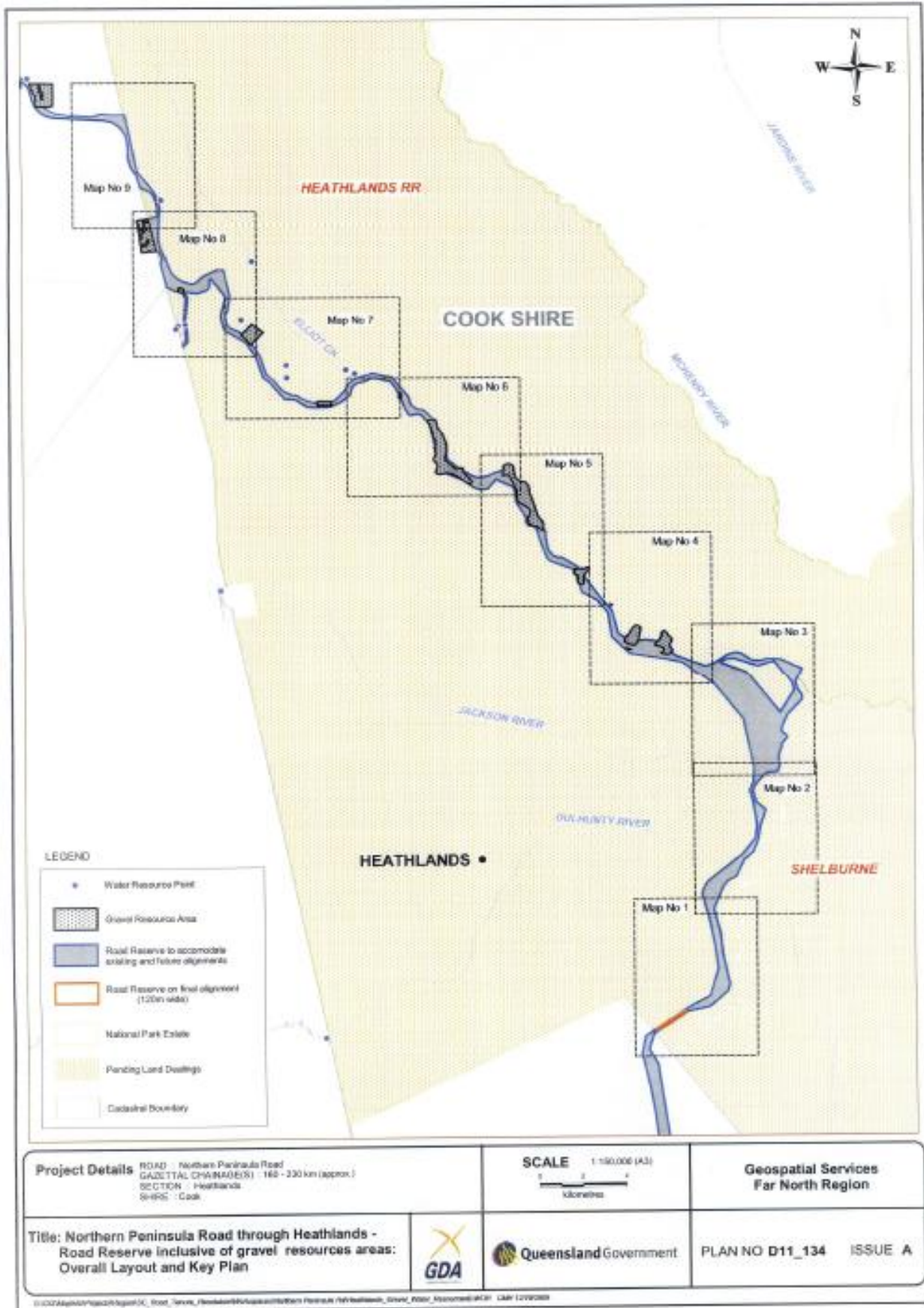
Please quote Council's file reference number in any correspondence and/or enquiry.

Regards

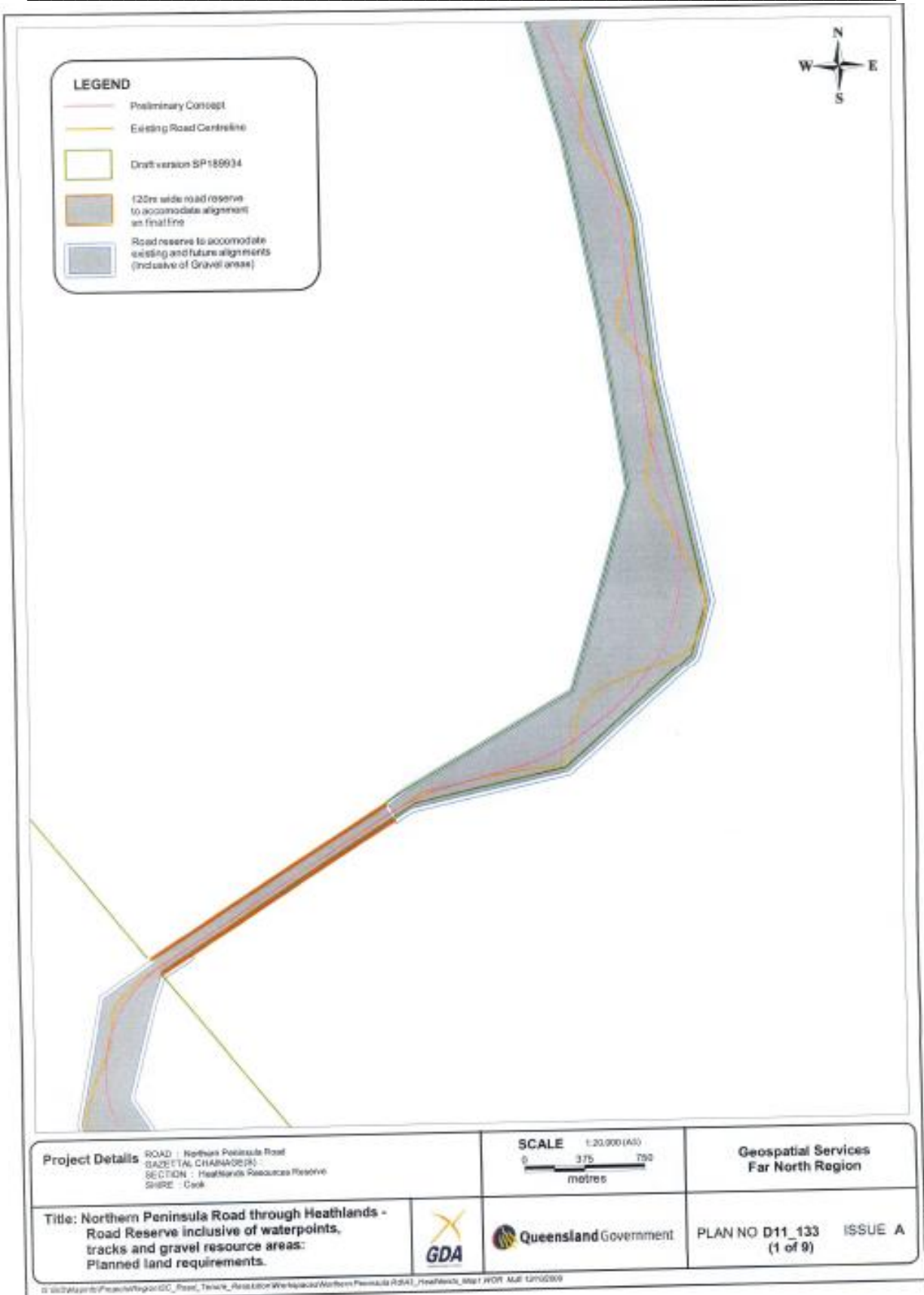


Stephen Wilton  
Chief Executive Officer

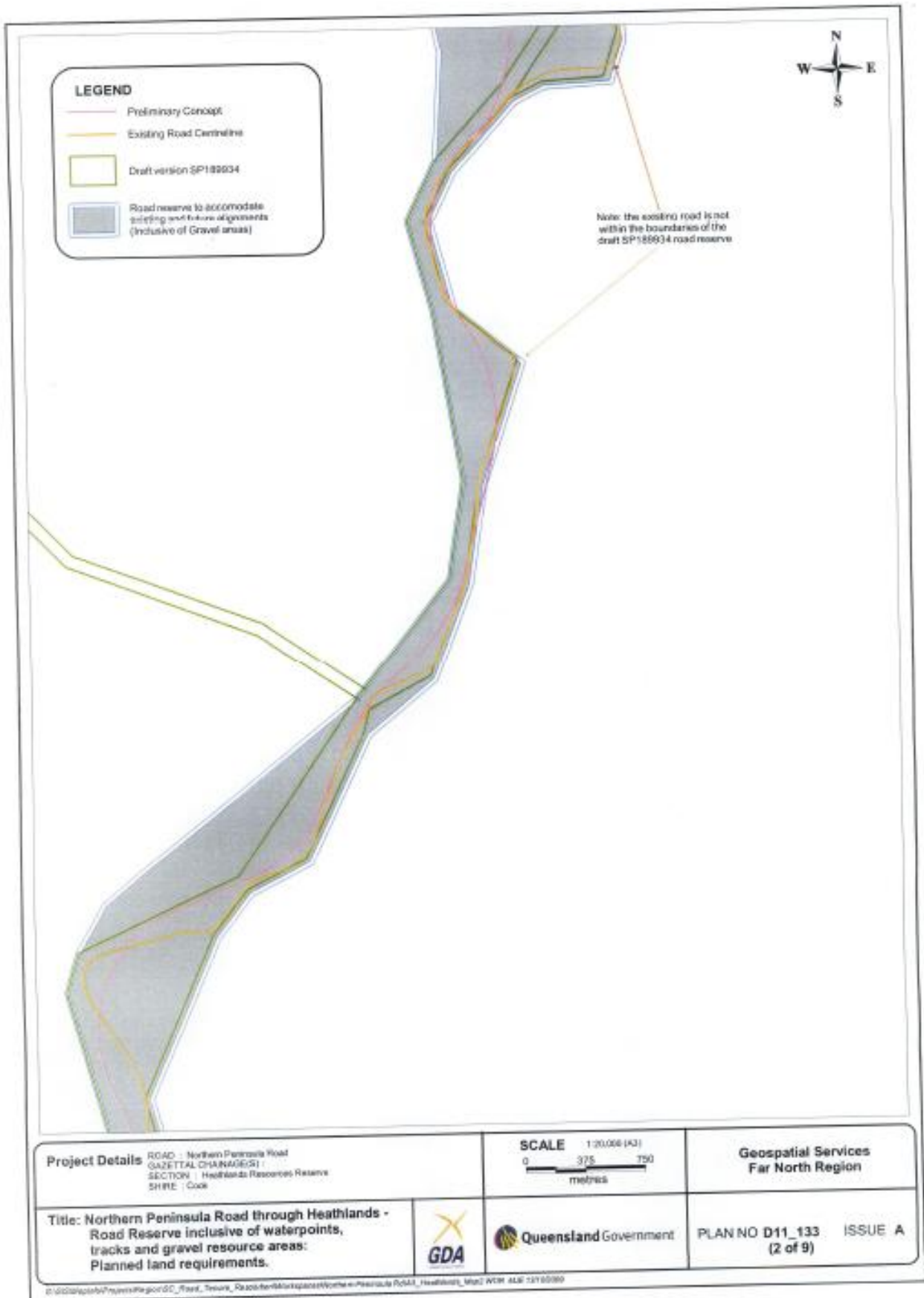
**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**



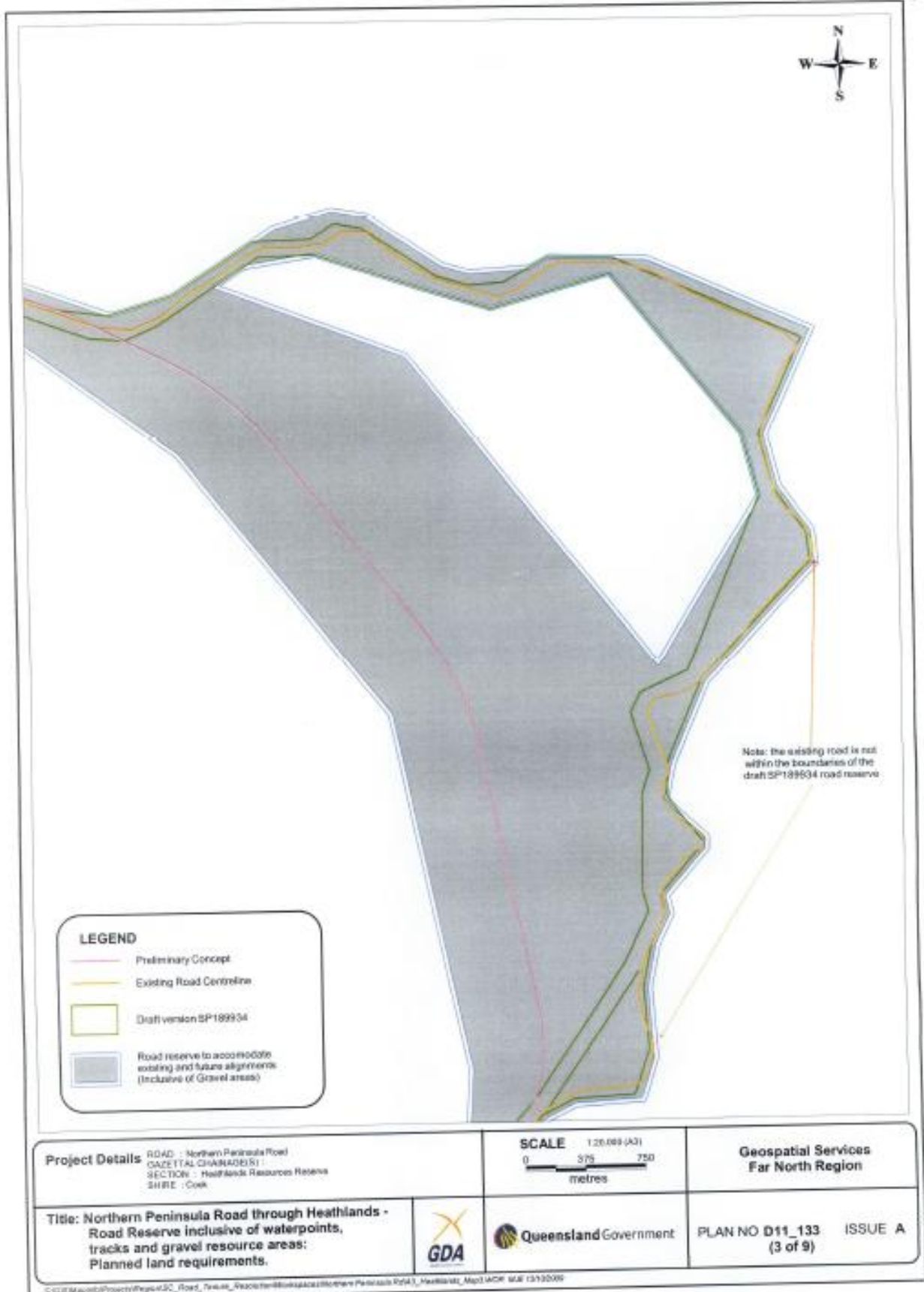
**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**



**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

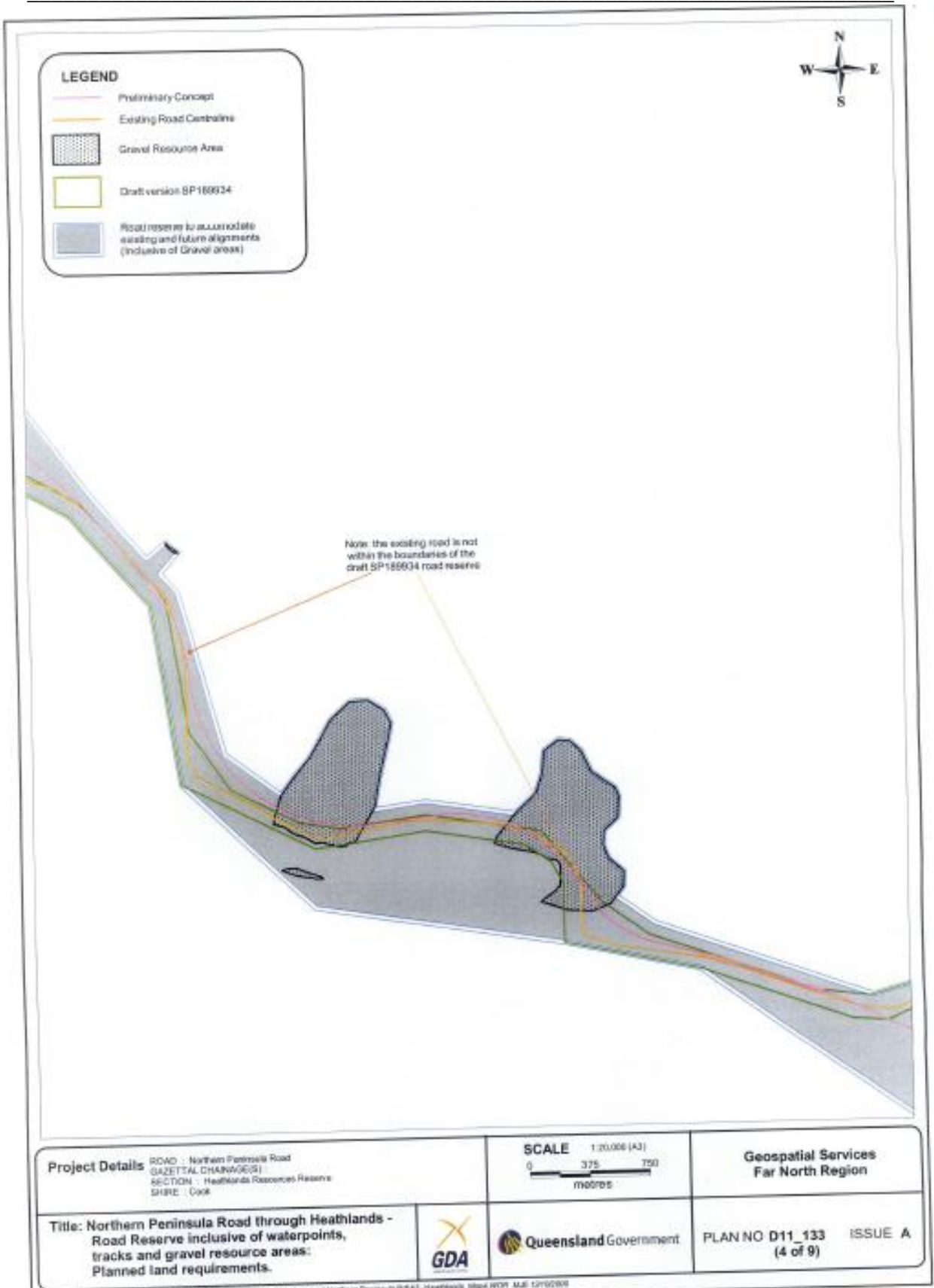


**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

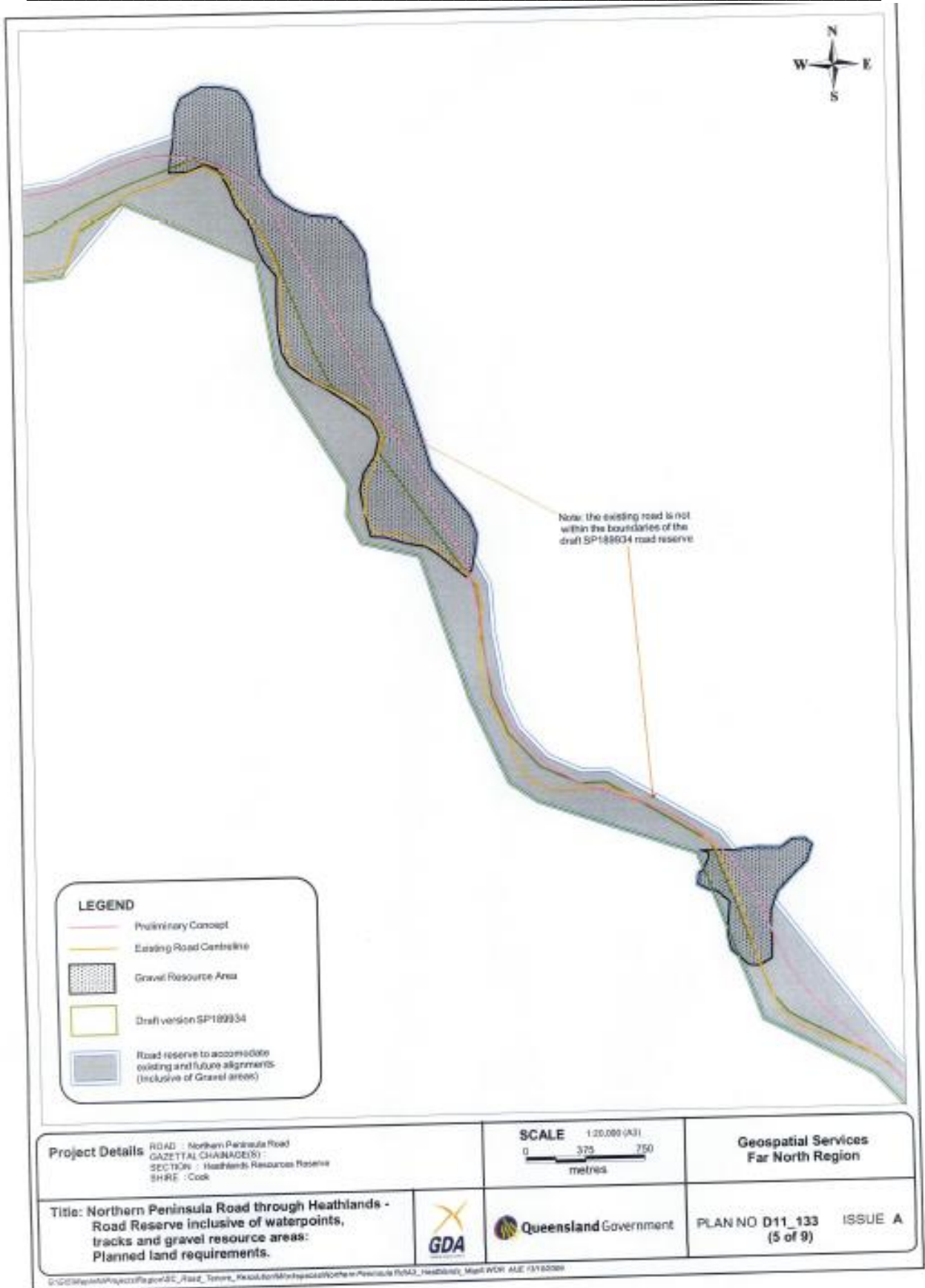




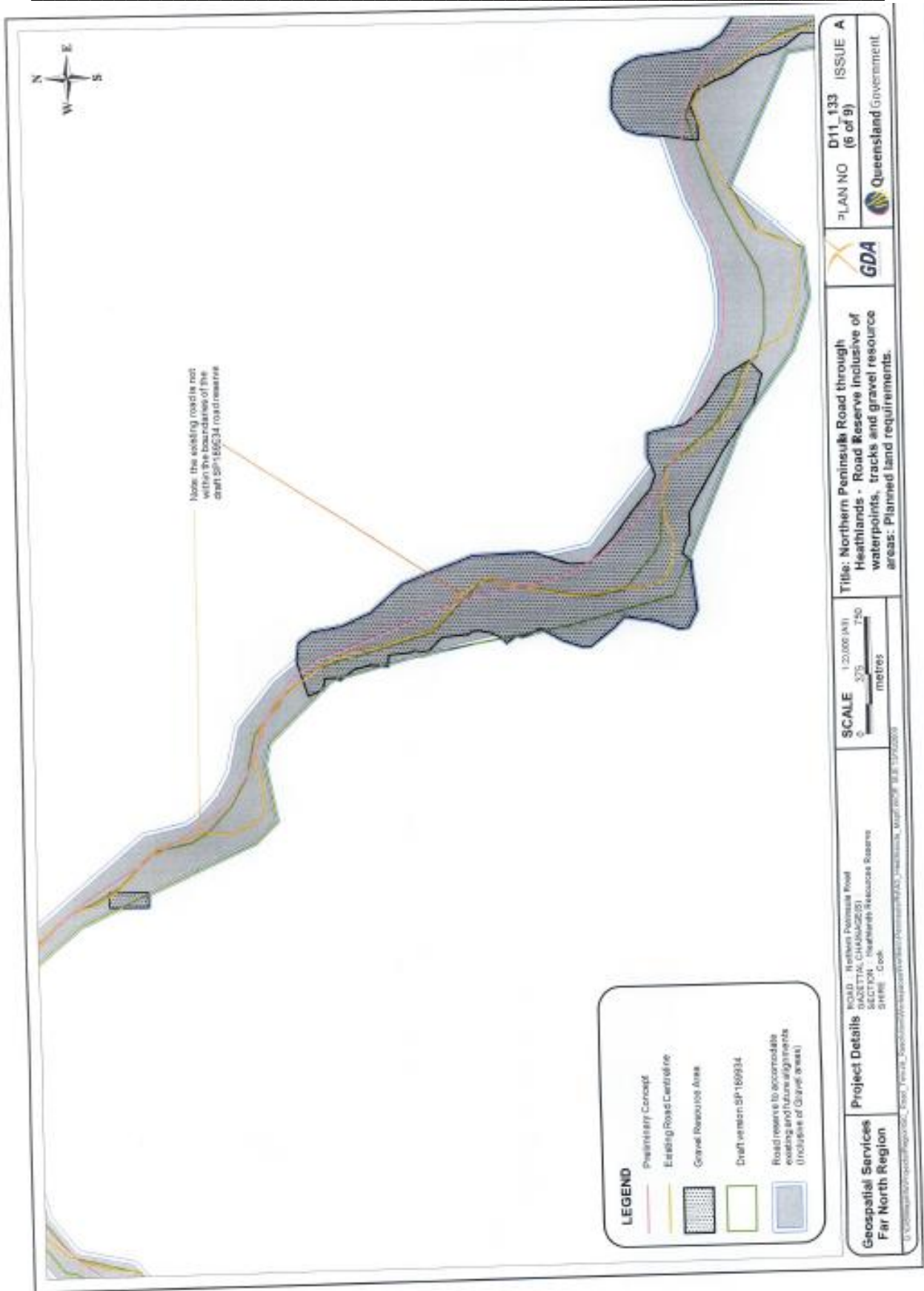
**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**



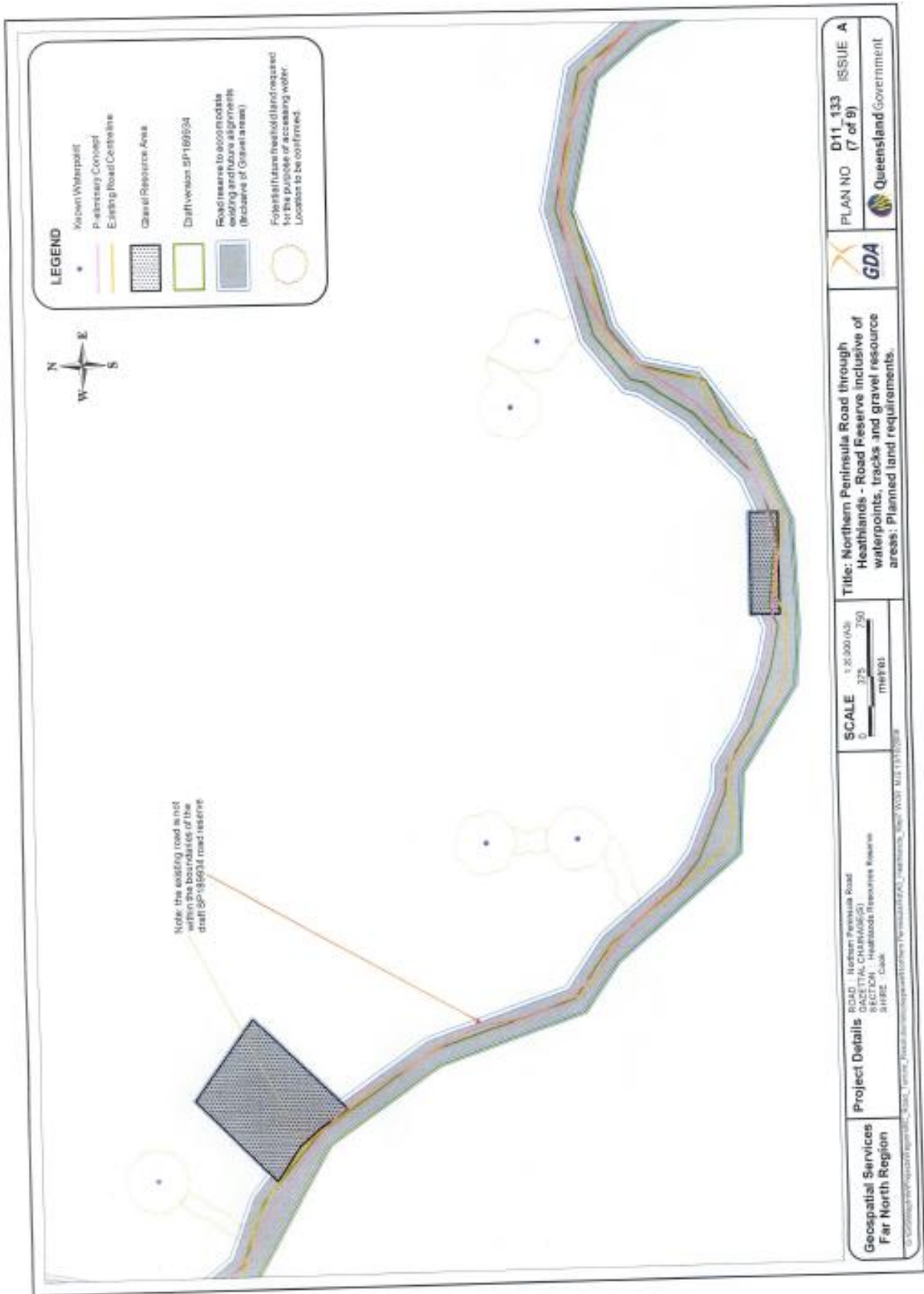
**AGENDA AND BUSINESS PAPERS  
19-20-21 January 2015**



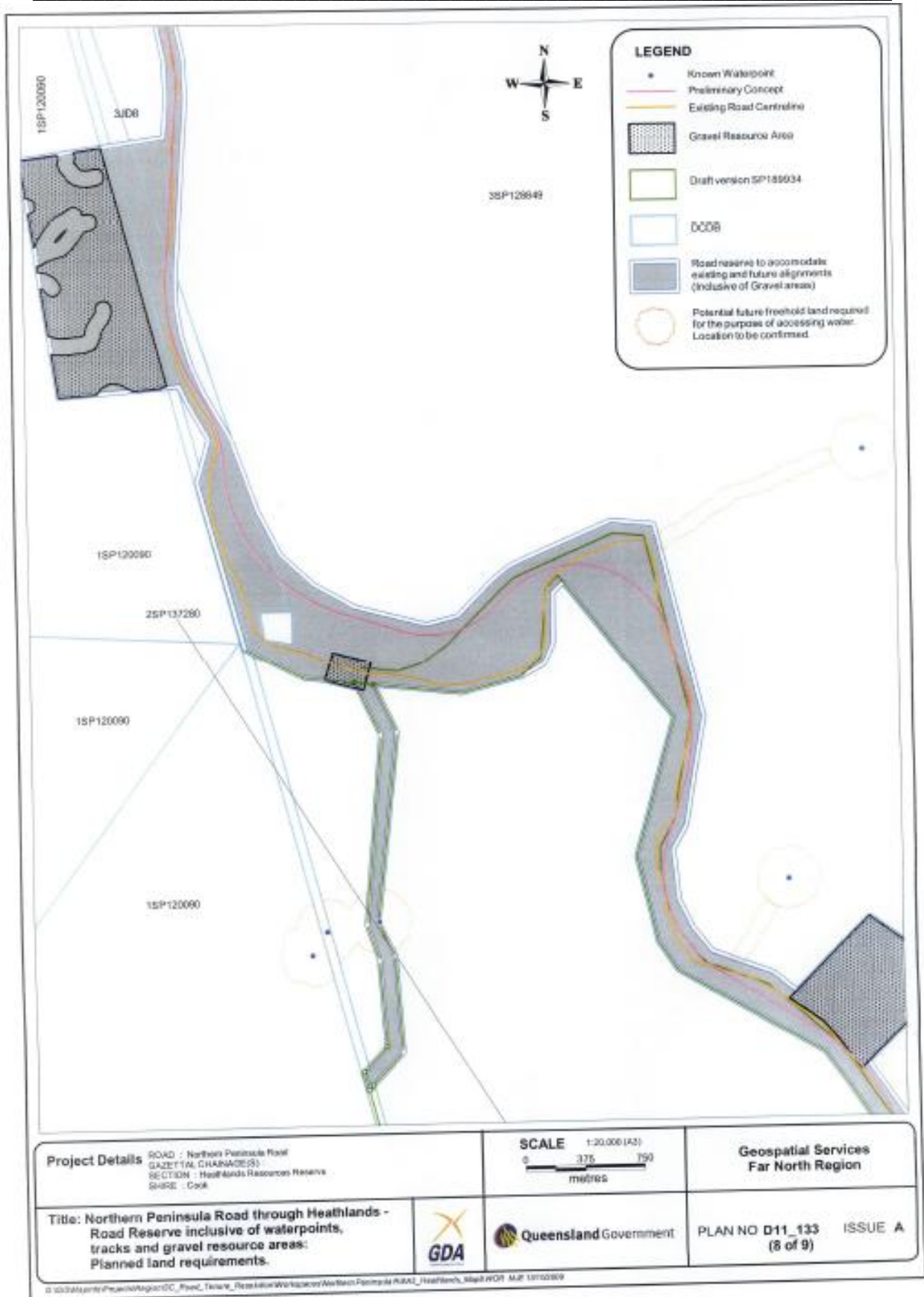
**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**



**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**



**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**



**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

LT2	<b>APPLICATION FOR CONVERSION OF TERM LEASE SL14/47742 TO FREEHOLD; BEING LOT 1 ON PLAN SD11; TOWNSHIP OF EBAGOOLA WITHIN YARRADEN PH (LOT 10 ON PLAN SP113659) - PARISH OF EBAGOOLA; COUNTY OF SIDMOUTH:</b>	
	<i>Report No.D15/370 from Chief Executive Officer File No.2.2.85.60; 2.650.8; 2.650.59 (639)</i>	

Précis

1. Raise no objection to the conversion of lease to freehold subject to reserve created to protect integrity and heritage values of township and road anomalies are dealt with at no cost to Council.

Background/History

2. By letter dated 6 November 2014, the Department of Natural Resources and Mines advised that an application had been received to convert Term Lease SL14/47742 over Lot 1 on SD11 to freehold and requested Council's views including any local non-indigenous cultural heritage values that the Department should consider. See attached SmartMap.
3. The proposed use of the land is Grazing.
4. Council at its March 2013 meeting, vide Resolution No. 30483, resolved inter alia to raise no objection to the renewal of Special Lease 17564085 over Lot 1 on SD11 situated within Lot 10 on SP113659, Yarraden PH for grazing purposes.
5. Lot 1 SD11 is partially located within the Queensland Heritage Registered Ebagoola Township and Battery.
6. The township site was considered a place of cultural heritage significance by the then Heritage Council as it demonstrated the evolution of mining settlements on the remote Cape York Peninsula, and was permanently entered in the Queensland Heritage Register on 15 May 2006. The attached map shows the Heritage Register Boundary.
7. Within the designated heritage boundary area are several features that are situated within the parcels of Lot 1 on SD11, these are township features, miners hut, scar tree and several workings (mining, alluvial).
8. Once these parcels are converted to freehold most of the area of the Ebagoola Battery and Township including these features would not be legally accessible to the public – the township and its heritage values would be unprotected.

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

9. Discussion ensued with the Departments case officer, who advised Council that Native Title had been extinguished over Lot 1 on SD11 whilst the two remaining parcels, Lot 5 on E5143 and L16 on AP15551 are State owned – Native Title would have to be dealt with – this may be an issue in light of the recently registered Cape York United No. 1 claim.
10. If Council requires Lot 1 on SD11 parcels within the register boundary area to be set aside as reserve this would be part of the conversion process and would be at no cost to Council.
11. Council, if it so desires, request the Department to create a Reserve for Historical and Recreational Purposes over all areas of Lot 1 on SD11, Lot 5 on E5143 and Lot 16 on AP1551 within the area shown on the Heritage Register Boundary and Features as Ebagoola Battery and Township, in the trusteeship of Cook Shire Council at no cost to Council - thus ensuring the integrity of the township and its heritage values are conserved and public access is continued.
12. Council is the trustee of the several reserves within the township area;

Park and Recreation Reserve	L9 SP129236
Park and Recreation Reserve (Hospital Purposes)	L8 E5146
School of Arts Reserve R13	L6 E5141
Cemetery Reserve R3	L4 E5144
Post and Telegraph Reserve R9	L7 E5141
13. At its May 2013 meeting Council vide Resolution No. 30538, resolved to accept trusteeship of R3 for Cemetery Purposes and requested an area of road to be opened – at no cost to Council – to provide legal access to areas of historical and scenic values.
14. Engineering advised that there are anomalies with the gazetted roads within Lot 1 on SD11 not connecting with the gazetted roads within L10 SP113659; legal access to existing reserves require dedication on the existing alignment; continuity of the road network from the north requires dedication on the existing alignment, this would also provide legal access to the Cemetery Reserve. See attached Ebagoola Township Road Opening\_Closures.
15. Planning and Environment Services advise there are no outstanding issues.
16. The following recommendation is submitted for Councils consideration.

Link to Corporate Plan

17. Key issues 4.3 Sport and Recreation Facilities and Public Access; 4.5 Cultural Heritage, Land Tenure, Native Title and Indigenous Land Use Negotiations and 4.6 Drainage, Stormwater, Road, Footpath and Bridge Network.

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

Consultation

18. Departmental and Internal.

Legal Implications (Statutory, basis, legal risks)

19. Nil.

Policy Implications

20. Nil.

Financial and Resource Implications (Budgetary)

21. Nil.

RECOMMENDATION

That the Department of Natural Resources and Mines be advised that Council raises no objection to the conversion of Term Lease SL14/47742 over Lot 1 on SD11, subject to;

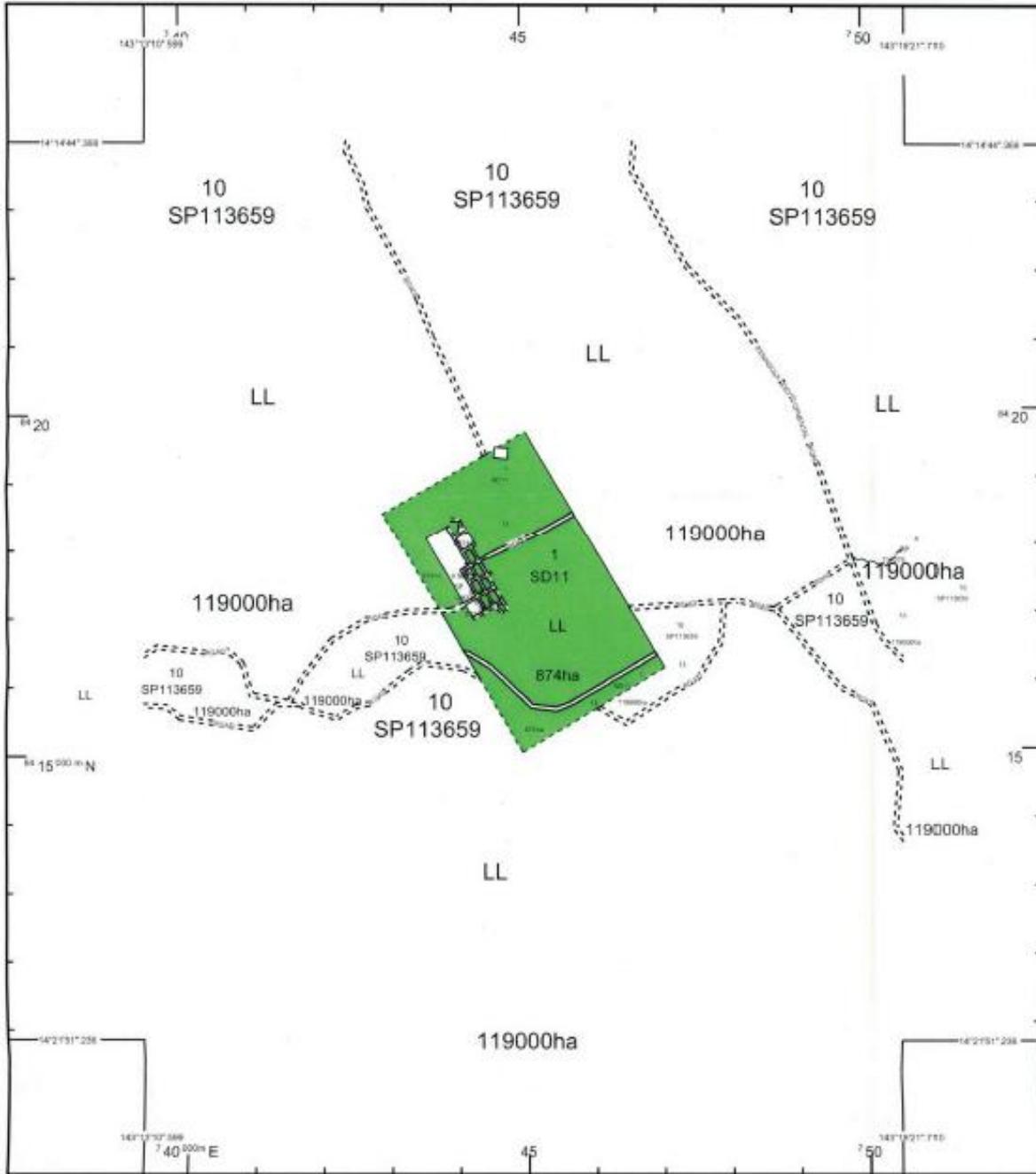
- i. the creation of Reserve for Historical and Recreational Purposes over all areas of Lot 1 on SD11, Lot 5 on E5143 and Lot 16 on AP1551 within the area shown on the Heritage Register Boundary and Features as Ebagoola Battery and Township 601858, plan submitted, in the trusteeship of Cook Shire Council thus ensuring the integrity of the township and its heritage values are conserved.
- ii. dedication of road network on existing alignments providing legal access to existing reserves; continuity of the road network from adjoining properties; providing legal access to the Cemetery Reserve, as shown on submitted plan Ebagoola Proposed Road Openings and Closures, at a width of 60m

At no cost to Council.

Att.  
SmartMap  
Ebagoola Battery & Township 601858  
MAP 'A'  
Ebagoola Proposed Road Openings and Closures



**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**



STANDARD MAP NUMBER  
7569-24432



**SmartMap**

An External Product of  
SmartMap Information Services  
Based upon an extraction from the  
Digital Cadastral Data Base

MAP WINDOW POSITION &  
NEAREST LOCATION



**SUBJECT PARCEL DESCRIPTION**

DCDB	1SD11
Lot/Plan	674ha
Area/Volume	LANDS LEASE
Tenure	COOK SHIRE
Local Government	YARRACEN
Locality	ESAOODLA
Parish	SIDMOUTH
County	
Segment/Parcel	82768

**CLIENT SERVICE STANDARDS**

PRINTED (dd/mm/yyyy) 08/11/2014  
For additional information regarding this SmartMap see page 2.  
Shading Rules have been applied.

DCDB: 05/11/2014 (Lots with an area less than 4.00ha are not shown)

Users of the information recorded in this document (the Information) accept all responsibility and risk associated with the use of the Information and should seek independent professional advice in relation to dealings with property.

Despite Department of Natural Resources and Mines (DNRM)'s best efforts, DNRM makes no representations or warranties in relation to the Information, and to the extent permitted by law, excludes or limits all warranties relating to correctness, accuracy, reliability, completeness or currency and all liability for any direct, indirect and consequential costs, losses, damages and expenses incurred in any way (including but not limited to that arising from negligence) in connection with any use of or reliance on the Information.

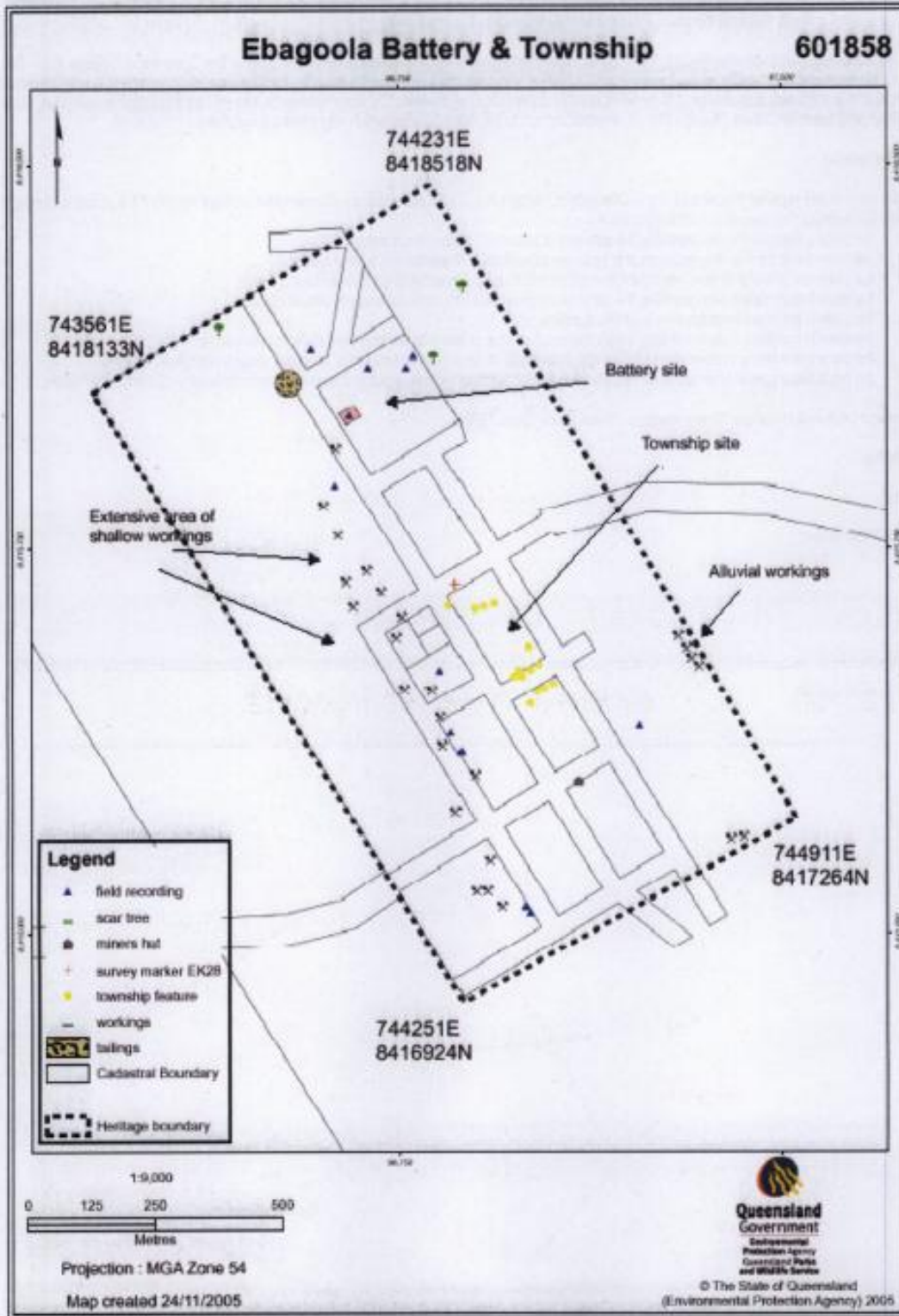
For further information on SmartMap products visit <http://www.qld.gov.au/property/mapping/SmartMap>



(c) The State of Queensland,  
(Department of Natural  
Resources and Mines) 2014.

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

**Heritage Register Boundary & Features**



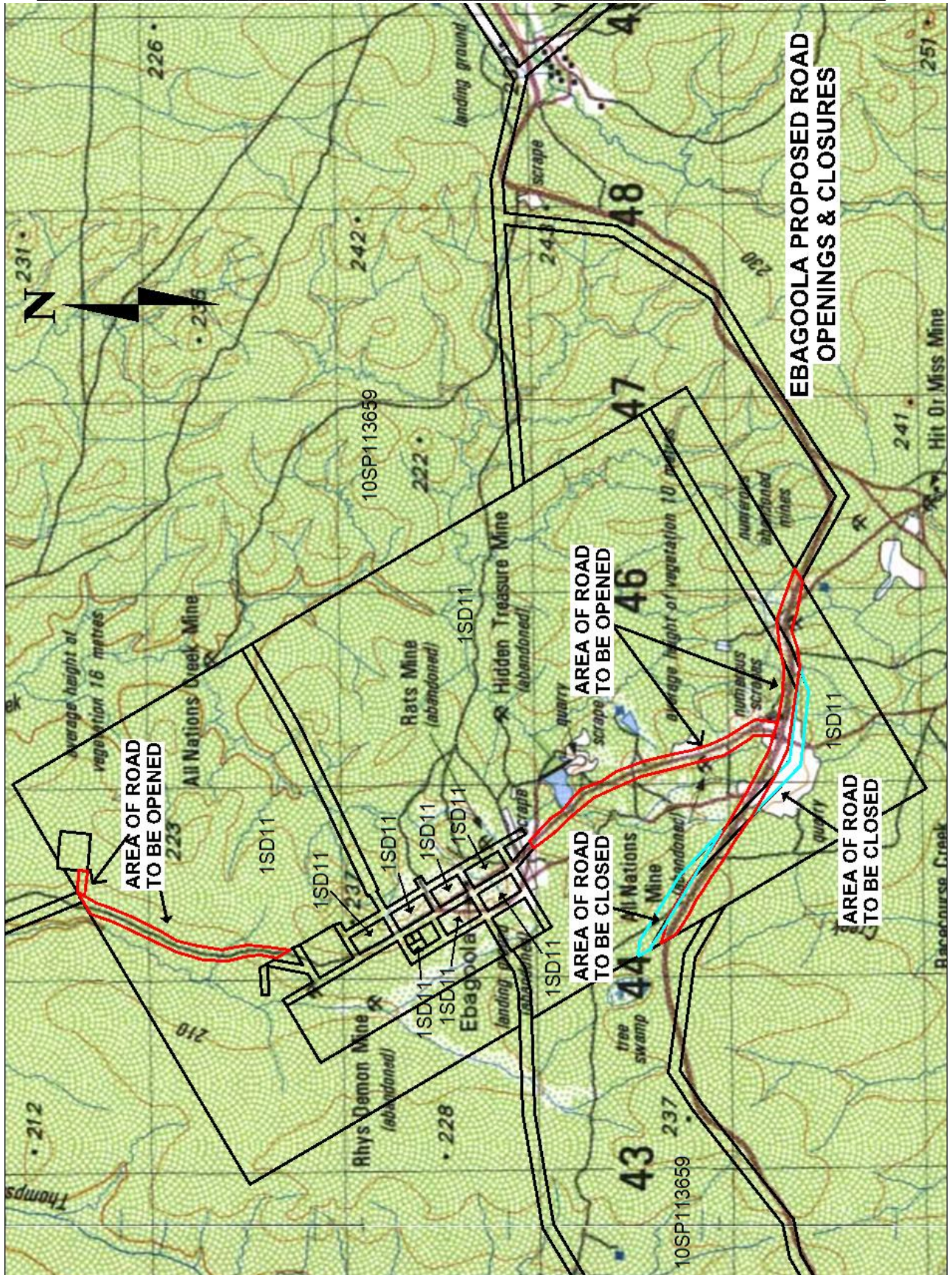
Source for heritage boundary map: ArcView GIS EPA

NB Dotted line denotes extent of Heritage Register Boundary

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**



AGENDA AND BUSINESS PAPERS  
19-20-21 January 2015



**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

**ECONOMIC DEVELOPMENT AND COMMUNITY SERVICES**

CS1	<b>ECONOMIC DEVELOPMENT MARKETING STRATEGY</b>	
	<i>Report No.D15/363 from Director Economic Development and Community Services.</i>	

**Précis**

Endorsement and adoption of Council’s Economic Development Marketing Strategy

**Background/History**

The introduction of an economic development function to Council’s operational structure in 2013 was a direct result of a vision to ‘develop a mature and diversified economy based upon competitive business practices, a highly skilled and dynamic workforce and infrastructure which meets the needs of a wide-ranging and growing population’ – as quoted in the 2013 – 2015 Cook Shire Council Economic Development Plan.

To deliver these messages to public and private stakeholders, Council’s media and marketing capabilities have been strengthened through the appointment of a Manager of Marketing and Communications, Media and Communications Officer and budget allocation.

Providing a clear direction of how to support Council’s economic development goals and social objectives through marketing and media opportunities, a draft Economic Development Marketing Strategy has been developed by consultancy firm One Fell Swoop in collaboration with Council’s Economic Development and Community Services team.

With this strategy in place, Council hopes to provide a clear, consistent, professional and structured approach to all marketing and communications. Developing our brand and defining our product is important, before we can look at how to use best practice management of Council resources to achieve our goals.

The strategy outlines a number of strategic and operational activities to be undertaken over the next three years with new and innovative marketing tools investigated, defined and prioritised.

**Link to Corporate Plan**

*Leadership and Governance*

4.1.3 b) Review Council’s community strategy for strategic and operational activities

*Economic Wellbeing*

4.7.1 a) Advocate and support economic wellbeing

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

Consultation

Various local and regional stakeholders as outlined in the draft Economic Development Marketing Strategy

Legal Implications (Statutory, basis, legal risks)

Nil

Policy Implications

Nil

Financial and Resource Implications (Budgetary)

Nil

**RECOMMENDATION**

Council endorse and adopt the Economic Development Marketing Strategy

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

**CORPORATE SERVICES**

**FINANCE**

F1	<b>REVENUE AND EXPENDITURE – DECEMBER 2014</b>	
----	--	--

That the Revenue and Expenditure Statements for December 2014 be adopted

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---



**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

**ADMINISTRATION**

A1	<b>NORTH QUEENSLAND LOCAL GOVERNMENT ASSOCIATION – 2015 CONFERENCE</b>	
	<i>Report No.D15/292 from Chief Executive Officer</i>	

**Précis**

Selection of delegates and/or observers to attend the North Queensland Local Government Association conference.

**Background/History**

The North Queensland Local Government Conference will be held at Palm Island from the 3<sup>rd</sup> – 5th August 2015. Names of delegates and observers are not required by the association until May of this year; however, Palm Island Aboriginal Shire Council has requested they be advised of numbers of delegates and observers who will be attending the conference for the purpose of booking accommodation.

Motions for consideration at the Conference will be called for in May 2015

**Link to Corporate Plan**

**Consultation**

Nil

**Legal Implications (Statutory, basis, legal risks)**

Nil

**Policy Implications**

Nil

**Financial and Resource Implications (Budgetary)/Risk Assessment**

Conference fees, travel and accommodation expenses.

**RECOMMENDATION**

That Councillors.....

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

A2	<b>DELEGATION OF POWER TO NEGOTIATE -</b>	
	<i>Report No.D15/329 from Chief Executive Officer</i>	

**Précis**

Delegation to the Chief Executive Officer to enter into negotiations.

**Background/History**

Council is in the process of proceeding to auction the below mentioned properties for arrears of rates and charges for more than three years. It is expected that the auctions will take place during February 2015.

Section 143(2) of the *Local Government Regulation 2012* provides that, if the reserve price is not reached at the auction, the local government may enter into negotiations with the highest bidder at the auction to sell the land by agreement.

If, on the day of the auction, the reserve price for any or all of the properties is not reached it would be impractical for the “local government” to enter into negotiation. Therefore, a delegation to the Chief Executive Office to do so is requested.

<b>Assessment</b>	<b>Real Property Description</b>
10003945	Lot 10 on RP 851380
10004927	Lot 421 C 1791
10010601	Lot 16 on C 17971
10011435	Lot 8 – 9 on C 179110, Lot 7 on C 17919, Lot 10 – 11 on RP713552
10019792	Lot 2 on RP 867052
10022663	Lot 1 on RP 729990
10023919	Lot 3384 on SP 182311, Lot 3385 on CP 890152

**Link to Corporate Plan**

Legislation

**Consultation**

Nil

**Legal Implications (Statutory, basis, legal risks)**

Local Government Act, 2009 and Local Government Regulation 2012

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

**Policy Implications**

Nil

**Financial and Resource Implications (Budgetary)/Risk Assessment**

Nil

**RECOMMENDATION**

That the Chief Executive Officer be delegated to, if the reserve price is not reached at the auction for the undermentioned properties, enter into negotiations with the highest bidder as provided for in section 143(2) of the *Local Government Regulation 2012*.

<b>Assessment</b>	<b>Real Property Description</b>
10003945	Lot 10 on RP 851380
10004927	Lot 421 C 1791
10010601	Lot 16 on C 17971
10011435	Lot 8 – 9 on C 179110, Lot 7 on C 17919, Lot 10 – 11 on RP713552
10019792	Lot 2 on RP 867052
10022663	Lot 1 on RP 729990
10023919	Lot 3384 on SP 182311, Lot 3385 on CP 890152

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

**COMMITTEE OF THE WHOLE**

**INFORMATION**

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

**ENGINEERING SERVICES**

	<b>ENGINEERING SERVICES REPORT – JANUARY 2015</b>	
	<i>Report D15/285 from Engineering Services</i>	

**General**

**Webber Esplanade Reclamation (Vessel Pen & Tidal Pool)**

Backfill from the harbour dredging is continuing to be placed behind the rockwall at a very reduced pace due to windy weather and the need to contain mud and silt behind the wall and not let it flow out to sea.

Photos attached.

**Woobadda Creek Bridge**

The pouring of the concrete deck commenced 9<sup>th</sup> December.  
As of the 15<sup>th</sup> December 90% of the deck has been poured, the remaining 10% is on the Cairns approach. It is proposed to pour this in two sections so as to continue to provide access to traffic. The temporary guard rails will be removed at the completion of the job.

As at 13 January 2015 the site was inspected by the Assistant Engineer, an update on the project shall be given at the meeting.

Photos attached.

**Cooktown Aerodrome Subdivision**

An area of approx 100m x 120m has been cleared of trees and rubbish to the east of the light aircraft apron at the Cooktown Aerodrome to cater for the needs of future lessees. Ads have been placed calling for expressions of interest from prospective lessees.

Photos of the cleared land attached.

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

**Webber Esplanade Reclamation**



Sand pumping progress 10/11/2014

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**



Drain through rock wall to lower water levels when backfilling



Boat Pen concrete capping completed



Tidal pool concrete capping completed

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

**Woobadda Creek Culvert**



Cairns side approach showing unfinished section



Cairns side approach showing wingwall with rock protection to footing



Digger forming side track

Downstream view from Cairns side approach



**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---



Downstream view of Cooktown approach



Upstream view of Cooktown approach



The completed Cooktown approach

## **2. Water Supply**

### **2.1 Water Report**

#### **2.1.1 Annan Treatment Plant**

- 24mm of rain was recorded for the month, due to the lack of rain the weir height has decreased with minimal flow over the weir
- Routine maintenance has taken place around the Treatment Plant including mowing and fire breaks have been maintained
- New filter outlet valve actuators were removed and replaced on the last filter
- A common pipeline has been installed for the actuators air exhausts to release into allowing for a quieter workplace
- Water sampling as per the Sampling matrix were collected and analysed, with all samples complying

#### **2.1.2 Cooktown Water Report**

- 611 service repairs for this month
- 1 mains repair took place in Hogg Street this month
- A service line was replaced in Newman Street due to continuing leaks
- A water diversion fabric has been installed to stop water seeping down from Flinders street into the new sewerage works
- Water sampling as per the Sampling matrix were collected and analysed, with all samples complying

#### **2.1.3 Laura Water Report**

- There were no service or mains repairs this month
- A CIP and routine maintenance were performed weekly
- Water sampling as per the Sampling matrix were collected and analysed, with all samples complying

#### **2.1.4 Lakeland Water Report**

- There were no service or mains repairs this month
- The chlorine pump is operating on a timer at present as we await the electrician to install the new chlorine analyser
- There were no other operational problems this month
- Water sampling as per the Sampling matrix were collected and analysed, with all samples complying

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

### **2.1.5 Coen Water Report**

- The water supply came from the Lankelly Creek and the Coen dam this month
- There were no service or mains repairs for this month
- A CIP was performed and left to soak overnight
- Routine maintenance around the treatment plant, Depot and bores took place, mowing and wiper snipper was completed around all bores and the dam shed
- Water sampling as per the sampling matrix were collected and analysed, with all samples complying

## **2.2 Sewerage Report**

### **2.2.1 Cooktown Sewerage**

- AAT and IAT air times have been adjusted
- The standby gensets were used when the power went out on the 1<sup>st</sup> December
- Number 2 gas detected has been calibrated this month
- A new manual belt tensioning valve has been installed
- The oil has been changed in the dig blowers
- The belt filter press has been greased and the step screen cleaned
- New diffusers have been installed in the IAT tank
- Bullivants checked all lifting gear and harnesses this month
- The electrician wired up and replaced the pumps for pump station 3 and 5
- The pump and chain was replaced on PU752 and a valve was fitted to the waste drum bund
- Regular maintenance is ongoing as is adjustment of aeration time, sludge removal and chemical use
- River & treatment plant samples were collected and sent off for analysis, with the results showing the plant to be running well. All tests complying with EPA licence conditions

### **2.2.2 Coen Sewerage**

- The treatment plant has been operating well this month with no operational problems, operations have been routine, with minor adjustments to chlorine dosing and aeration times
- 80 kilos of lime was added to the process to maintain pH balance during the month
- Sludge and sand was removed from the drying beds, the beds and drain pipes were cleaned out and new sand replaced
- Effluent has been primarily pumped to the irrigation area this month

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

- Routine maintenance was performed at the Sewerage Treatment Plant, which included mowing, brush cutting along the fence line
- Samples were collected and sent off for analysis, all complied with the licence requirements

## **2.3 Maintenance Report**

### **2.3.1 Cooktown Sewerage**

- BL 113,275,276,277 had belts oil grease & air filters checked / changed
- BL 506 & 507 belts oil grease & air filters checked.
- AG 206 & 256 had belts & bearings greased / checked
- 160 diffusers were changed out in the IAT process tank
- A new portable genset for pump wells around town was mounted on a new trailer
- RAS pump 252& 253 had drive belts inspected and bearings checked
- Bolts and seals were checked on step screen SC104
- Maintenance in line with Big Foot Maintenance Program

### **2.3.2 Annan**

- 2 new 250mm actuator valves have been installed to the filter bank
- Maintenance in line with Big Foot Maintenance Program

### **2.3.3 Lakeland**

- A new Chlorine Analyser has been installed at the pump shed

## **Aerodrome Operations**

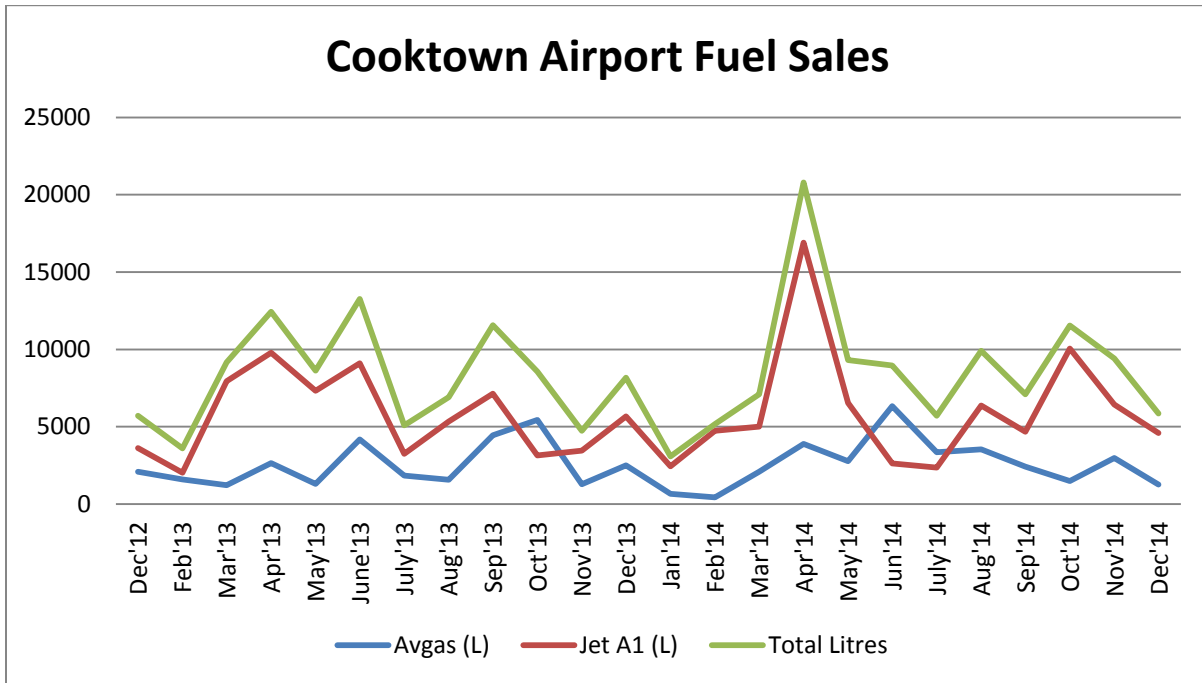
### **Cooktown Airport**

Fuel Sales for December 2014 totalled 5841.66 litres (1262.84 Lts Avgas, 4578.82 Lts Jet A1).

As it was a near record dry November and December there has been very little mowing and slashing to do except for irrigated areas around the terminal and along the runaway shoulders.

Ongoing maintenance completed during December included, terminal and surrounds cleaning and maintenance, Runway lighting maintenance and boundary fence repairs.

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**



**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

**Coen Airport**

**Core business activity**

Total landings for the month:	53	
Fuel Sales	Avgas	JetA1
Litres	3564	5377
\$ Value	9453.84	10182.70

**Plant and Equipment**

- Tractor still has oil leaks in transmission and three point linkage
- Dripping leak at Jet A1 filter has been rectified
- Oil is leaking from sump of Hatz Diesel motor driving fuel pumps
- The battery has collapsed in the Z-Trac mower and requires replacing

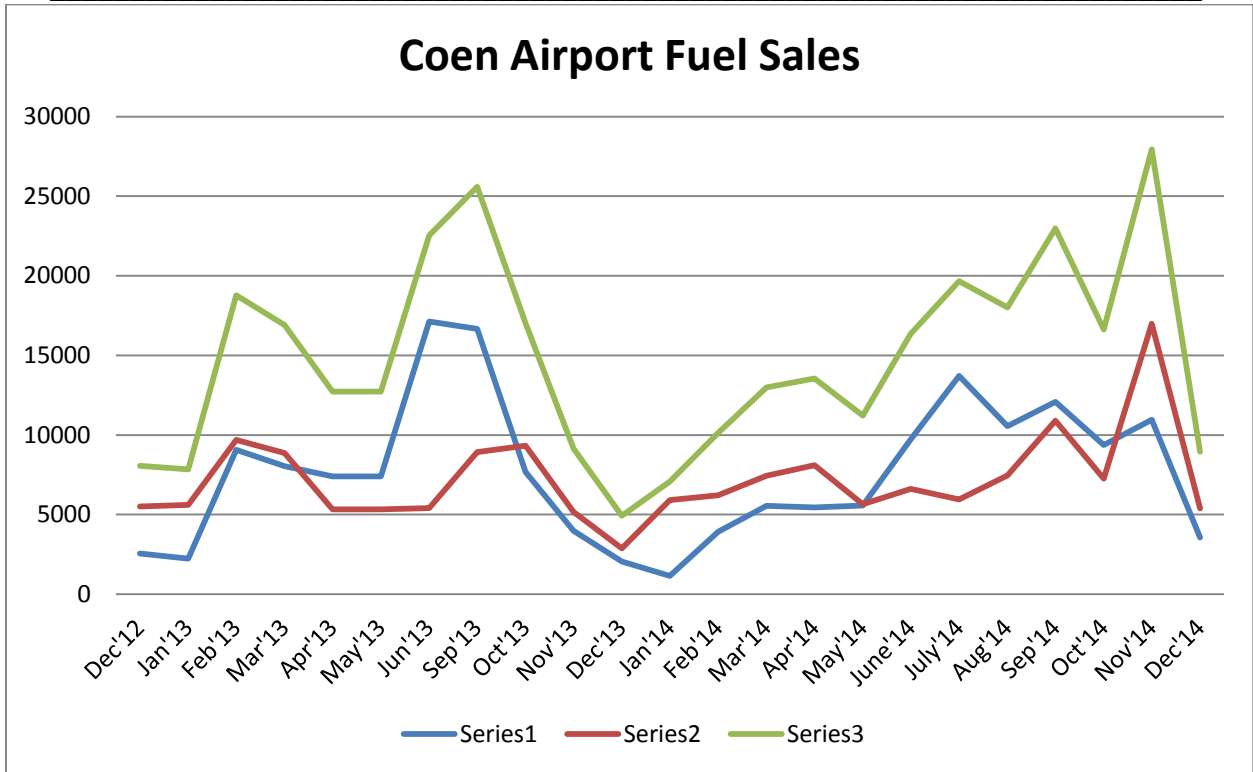
**Aerodrome Maintenance**

- Poisoning of suckers around the runway strips has been commenced
- Dry weather and oil leaks are still hampering slashing activities however as there is little grass growth the poisoning of tree suckers will be sufficient.

**Other Issues**

- Wet season supplies of aviation fuels have been delivered.
- Additional Diesel fuel has been purchased for the wet this year to allow provision of fuel for town vehicles and machinery should the shop supply run out.

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**



**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

## **Parks and Gardens**

### **4.1 General**

- Over the Christmas period some staff have worked through to ensure that basic maintenance functions have been undertaken. This includes tasks such as mowing, litter collection and garden maintenance, including that Botanic Gardens.
- On going vandalism at the Skate park, with a BBQ table wrecked and benches unbolted and moved, bin wrecked, etc. See photos.





**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**



**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**



**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

## *Cook Shire Monthly Sewerage Stats*

Date Range      **1/12/2014**      to      **31/12/2014**

	<b>Cooktown</b>
<i>Total Monthly Sewerage Inflow (K/Litres)</i>	11,106.0
<i>Total Monthly Sewerage Outflow (K/Litres)</i>	11,568.0
<i>Max Daily Effluent Outflow (K/Litres)</i>	485.0
<i>Min Daily Effluent Outflow (K/Litres)</i>	230.0
<i>Avg Daily Effluent Outflow (K/Litres)</i>	373.2
<i>Total Monthly Rainfall at Sewerage Plant(ml's)</i>	52.5
<i>No of days Rain Recorded</i>	9
<i>No of STP Electrical Faults</i>	2
<i>No of STP Mechanical Faults</i>	1
<i>No of Pump Stns Electrical Faults</i>	1
<i>No of Pump Stns Mechanical Faults</i>	0
<i>No of Sewer Mains Repairs</i>	0
<i>No of Sewer Service Repairs</i>	1
<i>No of Sewer Chokes</i>	1
<i>No of New Sewer Connections this month</i>	1
<i>Total No of Sewer Connections</i>	625
<i>No of Pump Blockages</i>	0
<i>No of Callouts</i>	0
<i>No of samples collected for Analysis</i>	20
<i>No of Samples meeting Licence Requirements</i>	20

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

## Cook Shire Monthly Water Stats

Date Range      1/12/2014      to      31/12/2014

	Cooktown	Lakeland	Laura	Coen
<b>Total Monthly Consumption (K/Litres)</b>	55,553	2,333	5,498	7,397
<b>Max Daily Consumption (K/Litres)</b>	2,253	93	248	384
<b>Min Daily Consumption (K/Litres)</b>	1,281	62	107	143
<b>Avg Daily Consumption (K/Litres)</b>	1,792	75	177	239
<b>Total Monthly Rainfall (ml's)</b>	60.5			0
<b>No of days Rain Recorded</b>	4			0
<b>No of Mains Repairs</b>	1	0	0	0
<b>No of Service Repairs</b>	11	0	0	5
<b>No of Service Connections</b>	908	42	47	118
<b>No of New Connections this month</b>	2	0	0	0
<b>No of Electrical Faults</b>	0	0	0	3
<b>No of Mechanical Faults</b>	0	0	0	2
<b>No of Meters Replaced</b>	1	0	0	0
<b>No of Service Complaints</b>	0	0	0	0
<b>No of Water Quality Complaints</b>	0	0	0	0
<b>No of Callouts</b>	2	0	0	0
<b>No of E.coli samples collected</b>	15	6	6	13
<b>No of E.coli samples compliant</b>	15	6	6	13
<b>Total Monthly Consumption / Connection (K/L)</b>	61.2	55.5	117.0	62.7

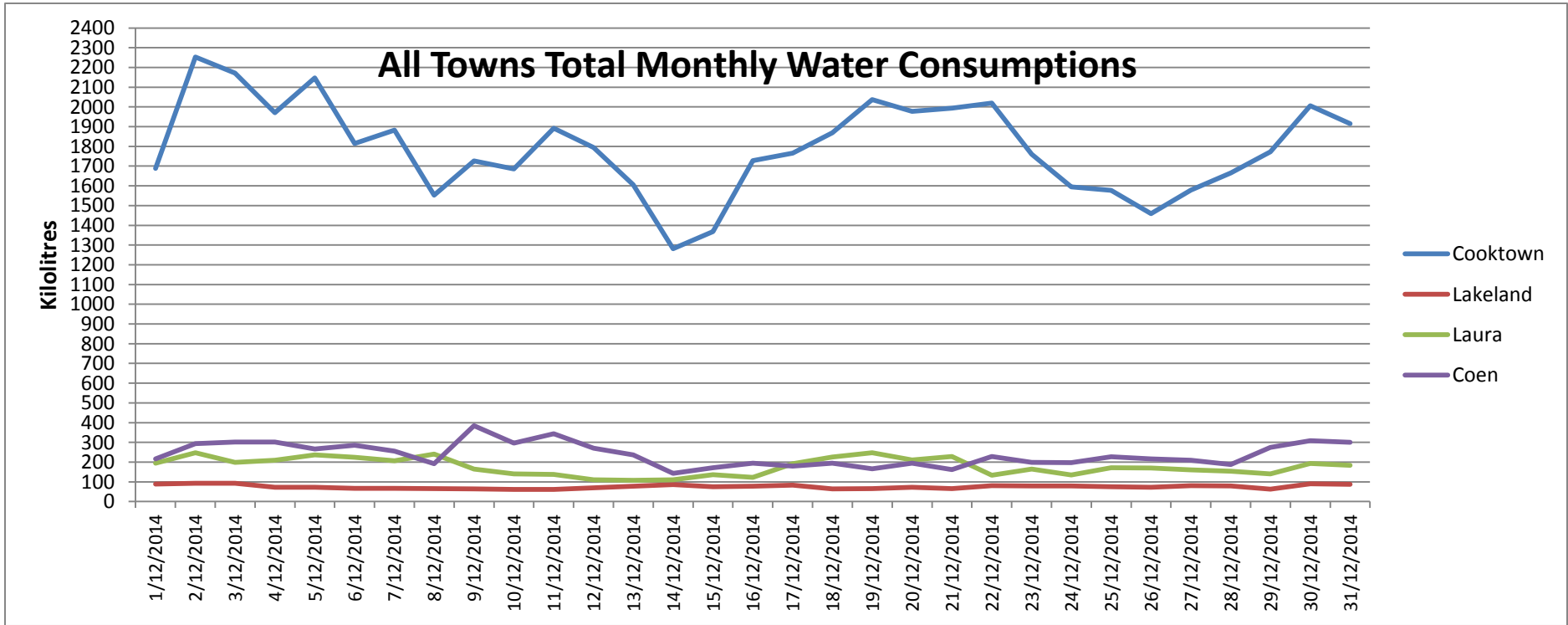
**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

<i><b>Total K/w used for Production</b></i>	<b>34057</b>			<b>25529</b>
<i><b>Total K/w / ML of Production, Distribution and Chlorination</b></i>	<b>613.1</b>			<b>3451.3</b>
<i><b>Avg. Fluoride (mg/L) at Treatment Plant - NATA Analysed</b></i>	<b>0.66</b>			
<i><b>Avg. Fluoride (mg/L) in Reticulation - NATA Analysed</b></i>	<b>0.70</b>			

AGENDA AND BUSINESS PAPERS  
19-20-21 January 2015

CSC Water Statistics

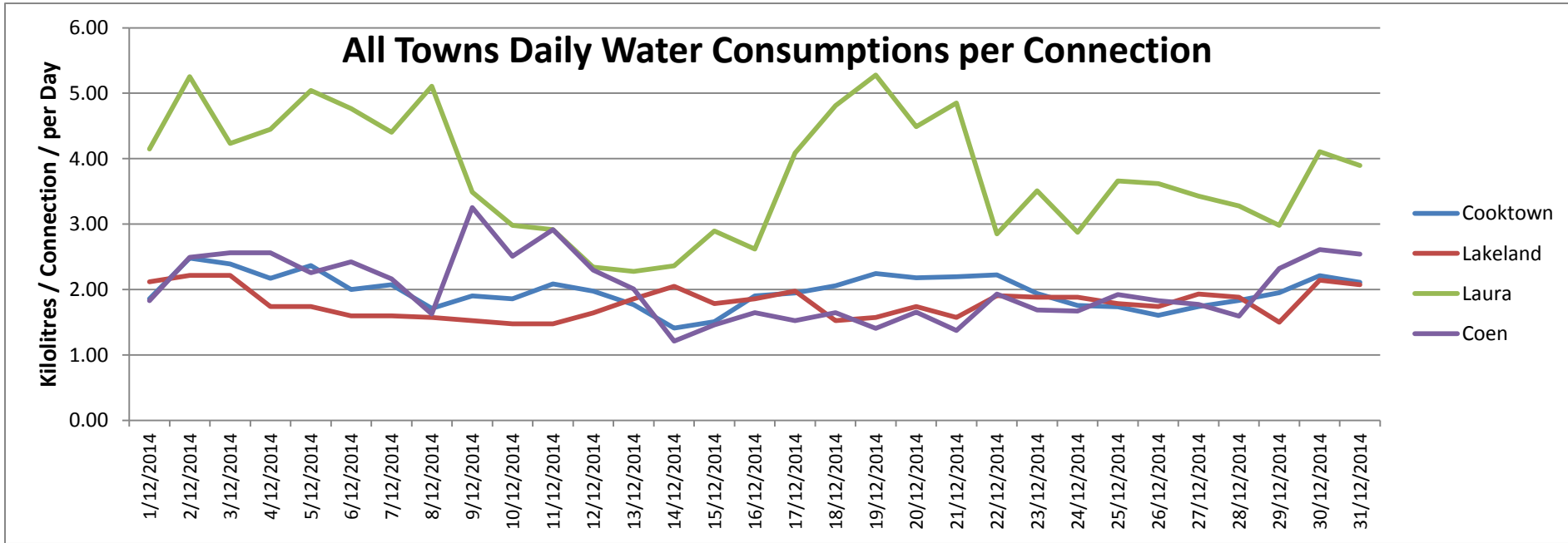
Date Range 01/12/2014 to 31/12/2014



AGENDA AND BUSINESS PAPERS  
19-20-21 January 2015

CSC Water Statistics

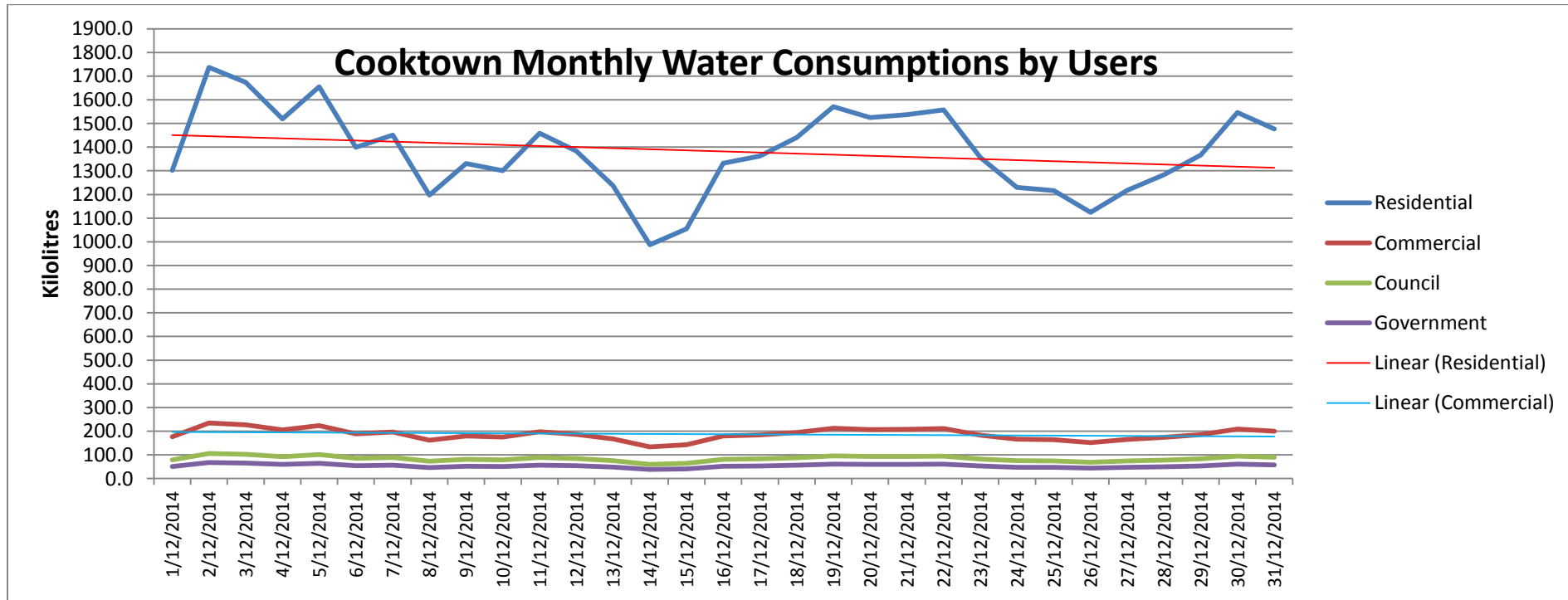
Date Range 01/12/2014 to 31/12/2014



AGENDA AND BUSINESS PAPERS  
19-20-21 January 2015

CSC Water Statistics

Date Range 01/12/2014 to 31/12/2014





**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

<b>TRAFFIC COUNTER FIGURES</b>													
	DEC	JAN	FEB	MARCH	APRIL	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
	2013												2014
<b><u>M.R.D. GAZETTALS</u></b>													
<b><u>PENINSULAR DEVELOPMENTAL ROAD</u></b>													
Little Laura River	***	***	***	32	88	477	429	518	430	433	344	272	222
Musgrave	10	10	10	10	57	133	251	359	321	236	236	153	121
Coen Aerodrome D.P.I.	17	5	2	2	26	117	208	282	227	203	143	N/A	N/A
<b><u>MULLIGAN HIGHWAY</u></b>													
Town Grid	***	***	1138	1224	1358	1624	2088	2263	2055	1876	1876	1620	1132
Little Annan Bitumen	***	340	340	400	373	598	597	748	723	***	***	557	679
<b><u>ENDEAVOUR VALLEY ROAD</u></b>													
Endeavour Falls	269	368	368	331	435	378	402	499	475	484	484	388	282
<b><u>COOK SHIRE COUNCIL ROADS</u></b>													
Moreton	17	6	0	1	22	44	143	226	155	142	89	21	36
Portland Roads Road	26	23	18	19	22	43	69	110	80	Counter Burnt	N/A	N/A	49
Battlecamp Road [Old Laura Stn]	N/A	N/A	N/A	N/A	N/A	***	N/A	90	57	43	23	18	8
Lakefield Rd (Olivevale)	29	8	***	6	12	56	142	201	139	133	115	65	49
Lakefield Road [New Laura Stn]	7	5	1	4	4	30	**	152	116	117	163	28	20
Marina Plains Road	3	3	3	3	21	22	32	***	***	33	33	54	75
Rossville-Bloomfield Road [Blackpinch]	Roadworks	Roadworks	Roadworks	Roadworks	Counter Reinstated	***	***	***	365	***	***	308	338
Rossville-Bloomfield Road [Willie Creek]	258	197	204	191	208	231	305	408	327	296	296	***	376

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

Rossville-Bloomfield Road [Granite Creek]	272	122	178	121	***	188	352	456	397	333	333	392	1116**
Honey Dam Rd											N/A	112	89
Byerstown Lookout	51	36	36	46	70	146	195	256	148	86	86	57	***
Whites Creek Rd									27	21	18	20	26
Poison Ck Rd [Minke Rd Intersection]	***	217	217	***	334	240	283	202	***	*	*	283	219
Poison Ck Rd [500m West of Minke Rd Intersection]	135	96	123		*	*	*	REMOVED	REMOVED	REMOVED	REMOVED	REMOVED	REMOVED
Railway Avenue East [Minke Rd Intersection]	77	87	87	64	****	74	92	102	84	REMOVED	REMOVED	REMOVED	REMOVED
Isabella - Mc Ivor Rd			N/A	10	19	23	25	39	35	41	45	REMOVED	REMOVED
Charlotte Street (Seaview Motel)	2567	2540	2540	2507	2671	2688	2695	2888	2508	2435	2435	2175	2091
**** Hose moved from road by mtnc gang.	These figures are Average Daily Traffic counts.												
*** Hose Damaged	On 5/09/14 the Portland Rds counter was moved to the west of the Lockhart Township intersection												
** Reading Suspect	Later in Sept the Portland Rds counter was burnt in a bushfire.												
* Counter Defective	It was replaced with a new counter on 2/12/14.												
	Hose at Byerstown lookout missing (stolen/vandalism?) as at 5/1/15												

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

**PLANNING AND ENVIRONMENT**

	<b>BUILDING AND PLUMBING APPROVALS – DECEMBER 2014</b>	
	<i>Report D14/14573 from Engineering Services</i>	

<b>Application No:</b>	<b>Landowner</b>	<b>Builder</b>	<b>Value</b>	<b>Building</b>	<b>Street Address</b>	<b>Certifier</b>
<b>DA/3346</b>	David & Michelle Barath	Transportable Lifestyles	\$160,000	House	102 Bloodwood Road, Bloomfield	Cook Shire Council
<b>DA/3178</b>	Haggerstone Island Holdings	TBA	\$455,000	Manager's Residence, Laundry and Tourist Accom	Haggerstone Island, Coral Sea	GMA Certification
<b>DA/3373</b>	Stephen Lynch	Owner	\$25,000	Class 10a - Shed	9 Kellehaven Drive, Cooktown	Cook Shire Council
<b>DA/3348</b>	Andrew Wilson	Owner	\$80,000	Class 1a - House	56 Hope Street, Cooktown	Cook Shire Council
<b>DA/3368</b>	Neville Wright	Darrin Denman	\$30,000	Addition of Class 1a to Shed 10a	125 Flaggy Road, Cooktown	Cook Shire Council
<b>DA/3371</b>	Cook Shire Council	Maxi Constructions	\$8,820	Hypo Shed Class 8	Endeavour Valley Road, Cooktown	Cook Shire Council
<b>DA/3365</b>	Wade MacKay	Jerome Builders	\$7,986	Shade Sail for Service Station – Class 6	210 Endeavour Valley Road, Cooktown	Cook Shire Council

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

<b>DA/3370</b>	Bharatkumar & Aratiben Patel	MTC Building Services Pty Ltd	\$339,360	House Class 1a	60 Charlotte Street, Cooktown	Cook Shire Council
<b>DA/3366</b>	Scott Stallan & Katrina Lewis	Jerome Builders	\$248,500	House Class 1a	9 Gumtree Close, Cooktown	Cook Shire Council
<b>DA/3303</b>	Alexandra DeCarteret	Thomason Constructions	\$25,000	Alteration to House Class 1a	7 Mason Street, Cooktown	Cook Shire Council
<b>DA/3360</b>	Wayne & Julie Smith	Up North Building Pty Ltd	\$50,000	Abattoir Class 8	Peninsula Developmental Road, Lakeland	Cook Shire Council

**Total value of approvals this period:** \$ **1,429,666.00**  
Total value of approvals same period last year: \$ 658,264.00

**Total value of approvals to date (Financial year 2014/2015):** \$ **15,970,388.48**  
Total value of approvals to date same period last year: \$ 16,705,084.80

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

<b>BIOSECURITY MONTHLY REPORT – JANUARY 2015</b>
<i>Report No. D15/364 from Director Planning and Environment</i>

**Précis**

Report on the activities of the Biosecurity Unit including legislative changes, contracts and current works in progress.

The new Council Biosecurity Unit is now operational with both positions filled on a full time basis from 12 January 2015.

**Link to Corporate Plan**

Theme 4.2 Environmental Wellbeing:

4.2.1 Undertake the management and provision of the following, to a standard that ensures legislative compliance:

f) Pest and weed management services.

4.2.2 Where resources and capacity allow:

a) Incorporate best practice management as a benchmark in all activities.

**Legal Implications (Statutory, basis, legal risks)**

Biosecurity Act: The *Biosecurity Act 2014* (The BS Act) was passed by Parliament on 6 March 2014. It must come into effect no later than 1 July 2016. Planning is under way to have it commence by the end of 2015. The BS Act delivers a single cohesive legislative framework for biosecurity in Queensland. Under the new legislation Council's responsibility will be very similar to that under the *Land Protection (Pest and Stock Route Management) Act*, namely managing weeds and feral animals on Shire lands (across all tenures).

The BS Act introduces the General Biosecurity Obligation; which means everyone must take reasonable steps to prevent or minimise biosecurity risks. This means that if you know or ought to know that you should do something to prevent or minimise a biosecurity risk but you decide not to, you may be guilty of an offence with a very significant maximum penalty. Biosecurity orders may be issued by Authorized Officers requiring specific action to address the risk within a stated timeframe to meet your obligation. If you do not comply with the biosecurity order, you may be guilty of an offence and the government will undertake the required action and oblige you to pay the costs. Council Officers will be authorized under the BS Act to issue Biosecurity Orders.

Training on the BS Act will be rolled out later this year by Biosecurity Queensland and will include sessions for Councillors/CEOs, enforcement officers and landowners.

**Changes to 1080 baiting:**

A new system for accessing 1080 was commenced in Murweh Shire in southwest Queensland in the second half of last year. The new system will be progressively rolled out across Queensland with full implementation planned by December 2015. Under this new system landholders can possess a 'bait user authorisation' which enables them to obtain bait at any time during the life of the authorisation. Landholders will have to complete a bait user training program before being

## **AGENDA AND BUSINESS PAPERS**

### **19-20-21 January 2015**

---

authorised. Bait User Authorisations will be issued by 'Approved Officers' who will be State (Biosecurity Officers) or Local Government employees. There will also be non-government 1080 providers under the new access system.

#### **Survey and Control Work**

A report from the Council's road crew of possible *Mimosa pigra* on the Mount Amos Road was investigated by Biosecurity Officers and found to be *Acacia farnesiana* commonly known as Mimosa Bush, which is a non-native species but not declared. It is very similar in appearance to *M. pigra* (hence the common name) and it was great to have one of the road crew contact us to check it out.

No control work undertaken during December/January.

#### **Incentive Scheme**

With the winding up of CYWAFAP the Landholder Incentive Scheme has been shelved as it was funded under an NRM grant. However the Biosecurity Team see value in reintroducing this as a way to encourage landholders to control invasive weeds on their properties. See separate paper presented at this meeting.

#### **Cook Shire Council PMP 2012-2016**

Two minor amendments were made to the draft plan presented to Council in June 2013 following comments received from consultation. These are listed below along with the action taken.

Change 1 Page 8 Change plant to animals

ACTION: Included a section from the Act regarding offences re pest animals

Change 2 Page 11 add: Work with Indigenous groups such as Land and Sea Rangers, and People working on country to obtain funding

ACTION: Included as suggested and an addition made to the performance indicator to reflect the addition.

Council approved the Draft CSC Pest Management Plan 2012 - 2016 in June 2013 with the understanding that it would be sent to the Department of Natural Resources and Water [now the Department of Agriculture, Fisheries and Forestry (DAFF)] for checking prior to being advertised for public comment. It appears that the plan was never sent to DAFF, so has not been finalised. Biosecurity Queensland has advised that the Minister no longer approves these plans, but the department usually likes to review them. Cory Bell, the Biosecurity Officer for Cape York & Torres Strait has viewed the 2012 – 2016 PMP and saw no major issues with it, but suggested we conduct an annual review as it was last done in 2012/13. Due to the pending changes to the legislation and the winding up of Council's involvement with CYWAFAP a completely new plan will be required to be developed during 2015/16. Therefore after discussions with Biosecurity Queensland it has been agreed that the 2012-2016 PMP can be finalised as is to ensure that CSC has a compliant plan on the understanding that a new plan will be developed this year.

#### **Responses to Customer Requests**

No customer requests received in December/January

## **AGENDA AND BUSINESS PAPERS**

### **19-20-21 January 2015**

---

#### **Project/Contract funding**

Proposals are under development to undertake the roadside spraying for the Department of Transport and Main Roads, and to complete the Gamba Grass control work under the Tablelands Regional Council Biodiversity Fund project. It is envisaged that contractors will be engaged to undertake the actual spraying with the monitoring and reporting completed by the Biosecurity Unit.

#### **Training/Workshops/Meetings/Conferences**

Darryn Higgins completed a Cert IV Training and Assessor course in December 2014. Firearms Licence training will be undertaken by Biosecurity officers in Jan/Feb.

#### **Current/completed works**

Council's annual 1080 baiting run was conducted in late November with approximately 2.3 million hectares covered over the 21 cattle stations participating in the program. In excess of 5 tonnes of meat was baited of which 2.723 tonnes was treated with dog strength solution and 2.351 tonnes treated with pig strength solution.

Information gathered from landholders throughout the run indicated that wild dogs were causing substantial stock/financial losses prior to the 2014 program. Follow up calls to assess the apparent success of the program will be conducted over the next month.

#### **Planned works**

Hymenachne, Rubbervine, Sickie Pod and Gamba Grass will be targeted in the annual roadside spraying work planned to be conducted in the next couple of months.

#### **Challenges and Risk Management**

With the break between the CYWAFAP close and the Biosecurity Team coming on board there has been no hand over of systems, data, contracts etc. Due to the lateness of obtaining funding for roadside spraying (Main Roads, Gamba Grass and CSC), there is a risk that this work will not be undertaken this year as the rains have already commenced, with the potential to restrict access to spray teams, and contracts still need to be developed and put in place .

#### **Financial and Resource Implications (Budgetary)**

There are insufficient funds in the budget to undertake CSC roadside spraying at the same level as in previous years. This may mean that it is not be financially viable for Council to take on the contract work for Main Roads.

#### **RECOMMENDATION**

Report submitted for information.

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

**ECONOMIC DEVELOPMENT AND COMMUNITY SERVICES**

	<b>ECONOMIC DEVELOPMENT AND COMMUNITY SERVICES DIVISIONAL REPORT – DECEMBER 2014</b>	
	<i>Report No.D15/295 from Economic Development and Community Services Director.</i>	

**1. GRANTS**

**Applications Unsuccessful**

- Department of National Parks, Recreation, Sport and Racing – Get Playing Plus – Lakeland Recreational Park

**Applications Outstanding**

- Department of State Development, Infrastructure and Planning (DSDIP) – Royalties for the Regions (Round Four) – Cooktown Reservoir
- Education Queensland – Smart School Subsidy – Shade Sail for Cooktown Pool
- State Libraries of Queensland – Incubators of ideas, learning and innovation – Business Hub
- Office of Liquor and Gaming Regulation – Community Benefit Fund – Lakeland Recreational Park Fence (May need to be withdrawn)

**Current Funding Available**

- Department of Veterans’ Affairs – Saluting Their Service Commemorations Grants
- Department of Infrastructure and Regional Development – National Stronger Regions Fund
- Department of Transport and Main Roads - Community Road Safety Grants
- Department of Infrastructure and Transport - Black Spot Funding

**Future Funding Available**

- Australian Government, Department of Infrastructure and Regional Development – Bridges Renewal
- Australian Government, Department of Infrastructure and Regional Development – Heavy Vehicle Safety and Productivity Programme
- Australian Government, Department of Infrastructure and Regional Development – National Highway Upgrade Programme

**Correspondence**



**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

- Department Local Government Community Recovery and Resilience signed Sub-Agreement – GraffitiSTOP Clean Up Program
- Queensland State Library signed Service Level Agreement – Best Start Family Literacy Initiative
- Department of the Premier and Cabinet signed Funding Agreement – Queensland Anzac Centenary

**2. ARTS AND CULTURE**

Work began on evaluating and revising Council’s Arts and Cultural Policy and creating a Public Art Policy.

Work continued on completing strategic initiatives including a public art audit of Cook Shire and public art concept development for the Cooktown Foreshore and Webber Esplanade Revitalisation including community consultation throughout December.

The consultation asked what it was that the community would like to see on the new Activity Precinct. From the feedback received to date, the following design elements have been identified:

- Using colours and materials that complement the existing environment
- Interactive
- Large
- Featuring local fauna/sea creatures
- Something children can play on
- Provides a photo opportunity

The consultation will run until January 19, 2015 to coincide with the due date for design submissions for public art work on the Activity Precinct. A summary will be completed and will be available from the Arts and Cultural Officer.

**3. COMMUNITY DEVELOPMENT**

**Coen**

Four ED & CS team members travelled to Coen for the last Coen Advisory Committee meeting of 2014, which was attended by several committee and community representatives. Meetings and visits with local businesses and organisations were productive with some new actions to be investigated and undertaken. Meeting minutes and the latest action register is available in a separate report to Council.

**4. MEDIA, MARKETING and COMMUNICATIONS**

## **AGENDA AND BUSINESS PAPERS**

### **19-20-21 January 2015**

---

#### **Cook Shire Website**

Council's IT, Corporate Services and Marketing team members will be working to finalise and launch the new website by the end of January 2015.

#### **Social Media**

*Insights for Council's official Facebook page, Cook Shire Connect, as of January 5, 2015*

- Total 'likes' – 1,368 (up 13 since last month) and an average post reach of 266, down from an average of 520 last month.
- The most popular post by Council was "Road safety reminder..." posted on January 4, regarding holiday road safety. It reached more than 993 people, and garnered 15 likes, 7 shares and 3 comments.

*Insights for Council's official Twitter account, @CookShire, as of January 5, 2015*

- Council's page has a steadily growing group of followers – now at 132, an increase of 16 from last month.
- New followers include The Cairns Post journalists Shannon Power and Daniel Bateman, LGAQ adviser Doreen Erhart, and LGAQ policy adviser Tracy Haynes.

#### **Marketing Strategy**

Council's new Marketing Strategy has been submitted to the January 2015 Council meeting for endorsement.

### **5. EVENTS and FESTIVALS**

#### **Australia Day**

Australia Day celebrations will be held at the PCYC Cooktown Events Centre from 10.00am January 26. Council will be hosting Australia Day Ambassador Mrs Gitie House who will take part in the celebrations, address those in attendance as well as meet local residents at a special event the following day.

#### **Upcoming Events and Date Claimers**

- January 19 – 21 Council meeting
- January 21 NBN information session
- January 26 Australia Day
- January 31 Learn to Swim lessons start
- February 27 Cooktown and Cape York Business Conference Early Bird tickets close
- March 27 Cooktown and Cape York Business Conference
- April 18 Remembrance Walk
- April 25 ANZAC Day Dawn Service – Grassy Hill, opening of time capsule

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

**6. ECONOMIC DEVELOPMENT**

**Meetings and Workshops**

- Cooktown Employment and Training Sub-Committee
- Dive into Digital workshop, “Marketing Tips”, Sovereign Resort
- Guardian Training
- Tourism Tropical North Queensland – Accreditation Program

**Housing Development Forum**

A draft report from One Fell Swoop was received and a thorough review of the key strategies is being undertaken before sending out to all the attendees and stakeholders. A copy of the Report was sent out to all attendees on January 5 with the *Procedure for Application for Development Incentive*, a public document, which outlines Council’s incentives for new buildings.

Feedback has been received from a variety of potential investors and community members airing their thoughts.

Whilst Cook Shire Council cannot address all recommended actions we have however selected four which we believe can support our drive for increased and improved housing developments and upgrades in the Shire. These actions include:

- Housing Partnerships
  - Council develop an energy efficient housing project on its land
- Investment Information Resource
  - Develop web/ hard copy resource that assists developers/ investors to navigate the process with bringing on new housing in the Shire and encouraging land owners that have not developed to proceed.
- Work in Cook Shire Campaign
  - Develop web/ hard copy resource that promotes the great work and lifestyle opportunity in the Shire. The purpose of the information is to promote the availability of affordable housing that makes it a great place to work away from the busy lifestyle.
- Cook Shire Pride Project
  - Council to develop a ‘Shopfront Pride’ grant to be championed by businesses with a public shopfront to upgrade their existing signage.

The Economic Development and Community Services team will work with Planning and Environment to produce an Investment Information Resource for potential investors.

**Economic Indicators**

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

The table below shows the latest available data sourced from Council's Economy ID profiles – [www.economy.id.com.au/cook](http://www.economy.id.com.au/cook).

<i>Data current as at December 2014</i>		
<b>Unemployment</b>	12.43%	<i>June 30, 2014</i>
<b>Est. Residential Population</b>	4,393	<i>June 30, 2013</i>
<b>Population Growth</b>	+ 1.85%	<i>June 30, 2013</i>
<b>Labour Force</b>	1,582	<i>June 30, 2011</i>

### **Cook Shire Solar Project**

The Cook Shire Solar Project did not proceed to the December 4 ARENA board meeting. Discussions with the ARENA panel continue and we await confirmation as to the projects progression to the next ARENA board meeting in February.

### **Airport Development**

Interest in the land opportunity at the eastern side of the Cooktown Airport was advertised in the Cooktown Local News and Cairns Post, and closed on December 8. Two interested businesses have responded to the advertisement. The CEO is reviewing the applications and is leading this project.

### **Signage Project**

The Signage Project review is complete and plans are already underway to audit the Scenic Rim walking trail and several 'Welcome To' signs around the Shire.

ED & CS Officers will walk and drive the various tourist trails to document existing signage and identify potential locations for new signs where required. Feedback from local operators and the Cooktown Chamber of Commerce will also be sought.

### **National Broadband Network**

NBN Co. announced a new rollout plan which includes Cooktown. The National Broadband Network (NBN) is expected to be delivered by June 2016. The technology deployed in these communities may change depending on a number of factors once the construction planning stage has been finalised.

A representative will be visiting Cooktown on the 21<sup>st</sup> of January to give a presentation in Council Chambers to further clarify this information. Key stakeholders including a number of Council staff will be invited to attend.

### **Cape York Regional Training Centre**

## **AGENDA AND BUSINESS PAPERS**

### **19-20-21 January 2015**

---

The Cooktown Employment and Training Sub-Committee of the Cooktown Inter-Agency Group nominated Cook Shire Council to take the lead role to investigate the feasibility of developing a Cape York Regional Training Centre. An expression of interest was sent to a number of economic consultancy firms to address the following:

- Identification of current skills gaps and shortages
- Current skill levels within industries
- Future skills requirements
- Current training and education demand in the region
- The cost of all current and future training delivered as part of business operations; particularly training delivered out of region and compulsory training
- Predicted skills forecast comparable with expected growth (population and industry growth)

Closing date for submission of quotes is Thursday, January 15.

### **2015 Cooktown and Cape York Business Conference**

The Cooktown and Cape York Business Conference will be held at the PCYC Cooktown Events Centre on March 27. The conference is shaping up to be something special with many new keynote speakers already confirmed.

Some of these speakers include:

- Shane Webcke – LGAQ
- Lisa Bond – Whale Watch, Kaikoura NZ
- Natalie Stoeckl – James Cook University
- Troy Haines – The Space

Sponsorships are available this year with several businesses taking up the opportunity so far - two gold, three silver and one bronze have been purchased. Sponsorship opportunities close Monday, January 12 which will allow for maximum exposure and advertising of the conference. Advertising has commenced and tickets will be available from January 12 allowing delegates to register and pay online using [www.eventbrite.com](http://www.eventbrite.com).

## **7. TOURISM**

### **Tourism Website upgrade**

The tourism website [www.cooktownandcapeyork.com](http://www.cooktownandcapeyork.com) will be undergoing an upgrade prior to the start of the tourist season. The upgrade will include updating the content and changing the design to make it more user-friendly and to differentiate it from the Tourism Cape York website.

### **RV Event**

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

The 2015 RV Event will be held in Cooktown from 29 July – 2 August. This date will coincide with the Cooktown Show and will be the week after the Mareeba Christmas in July RV Event.

**Adelaide Street Rest Area**

The rest area at Adelaide Street is in its final year as a trial. Many upgrades to this area need to take place before the commencement of the tourist season in April.

For example, wheelie bin holders need to be installed to keep the bins upright as they are always falling over due to the high winds in the area. Signage has arrived at the Council depot and is waiting installation. The Director of Planning and Environment along with the Economic Development Officer will be able to assist with correct placement of signs.

It is understood the new Local Laws Officer will be briefed with regards to policing the site on a daily basis and is now allowed to issue fines to any non-compliant vehicles. Permits are now being issued on-site by the Local Laws Officer as well as from the administration building prior to setting up.

**Cape York Traffic Counter**

Situated at Moreton Telegraph Station (Batavia Downs) and showing latest annual comparisons.

<b>Month</b>	<b>2014</b>	<b>2013</b>
<b>January</b>	217	43
<b>February</b>	No data recorded	76
<b>March</b>	10	52
<b>April</b>	656	597
<b>May</b>	1375	2124
<b>June</b>	3705	5784
<b>July</b>	8119	5500
<b>August</b>	No data recorded	2659
<b>September</b>	No data available	3395
<b>October</b>	No data available	2660
<b>November</b>	618	
<b>December</b>	1156	332
<b>Total for year</b>	15,856	23,519

<b>Month</b>	<b>2014</b>	<b>2013</b>
<b>January</b>	445	897
<b>February</b>	No data given	17
<b>March</b>	391	479
<b>April</b>	764	1,032
<b>May</b>	1,624	1,698
<b>June</b>	3,055	4,033
<b>July</b>	5,375	5,445
<b>August</b>	4,199	4,180

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

<b>September</b>	<b>2,778</b>	<b>2,840</b>
<b>October</b>	<b>1,881</b>	<b>1,814</b>
<b>November</b>	<b>710</b>	<b>817</b>
<b>December</b>	<b>701</b>	<b>784</b>
<b>Total</b>	<b>20,512</b>	<b>24,036</b>

**James Cook Museum  
Statistics**

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

**Nature's Powerhouse / Visitor Information Centre**

<b>Month</b>	<b>2014</b>	<b>2013</b>
<b>January</b>	<b>549</b>	<b>715</b>
<b>February</b>	<b>118</b>	<b>433</b>
<b>March</b>	<b>174</b>	<b>405</b>
<b>April</b>	<b>203</b>	<b>664</b>
<b>May</b>	<b>826</b>	<b>1,659</b>
<b>June</b>	<b>1,509</b>	<b>3,515</b>
<b>July</b>	<b>3,534</b>	<b>4,258</b>
<b>August</b>	<b>2,750</b>	<b>2,422</b>
<b>September</b>	<b>1,570</b>	<b>824</b>
<b>October</b>	<b>1,071</b>	<b>498</b>
<b>November</b>	<b>436</b>	<b>358</b>
<b>December</b>	<b>220</b>	<b>281</b>
<b>Total</b>	<b>12,304</b>	<b>16,032</b>

- 91 visitors from intrastate
- 75 visitors from interstate
- 54 visitors from overseas
  
- Percentage of all visitors from intrastate during 2014 - 25%.
- Percentage of all visitors from interstate during 2014 - 58%
- Percentage of all visitors from overseas during 2014 - 17%

**Functions**

On December 6, a concert was held at Nature's PowerHouse, organised by the Vera Scarth-Johnson Association. The Ukrainian born pianist, Evgeny Ukhanov who has performed all around the world, won, in 2000, third prize at the prestigious Sydney international piano



**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

competition and performed with the Sydney Symphony Orchestra, the Australian Chamber Orchestra and Sydney Youth Orchestra, regaled the audience with his repertoire largely inspired by Listzt and Chopin.

**Café**

Opening hours are:

Tues – Fri : 9:30 – 3:30

Sat – Sun : 11:00 – 2:30

Closed: Monday

**Galleries**

**Vera Scarth-Johnson Gallery & Charles Tanner Wildlife Exhibition**

The number of visitors to the Galleries in December 2014 was 138.

**8. LIBRARY UPDATE**

***Cooktown***

- Several very successful, well attended pre-Christmas children’s activities sessions were held in December.
- The hot weather saw an increase of visitors to the library as is indicated by the number of internet vouchers issued in the lead up to Christmas.
- As a result of the Christmas closure, borrowings were down for December.

***Bloomfield***

- No report received to date from Bloomfield, however it is noted from the Aurora statistical report that borrowings and reservations were down for December.

***Coen***

- The problem with the statistical data reporting from Coen has been identified with all future donated stock processed and barcoded for Aurora identification.

**Library Statistics – December 2014**

Library	Membership Adults, Junior &Temp	Instit	Loans	Internet Usage	December Reservations
Cooktown	A 826, J 93	Inst. 3, T1	1700	856 vouchers issued	220
Bloomfield	A82, J9	Inst. 1	110	?	14
Coen	A 17, J 5		18	14hr	0

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

**9. COOKTOWN SWIMMING POOL**

**Attendance**

<b>2014/15</b>	<i>Jul</i>	<i>Aug</i>	<i>Sep</i>	<i>Oct</i>	<i>Nov</i>	<i>Dec</i>	<i>Jan</i>	<i>Feb</i>	<i>Mar</i>	<i>Apr</i>	<i>May</i>	<i>Jun</i>	Total
General Entry	463	461	701	1532	1281	1291							<b>5729</b>
Swim 4 Your Life	21	42	28	77	67	37							<b>272</b>
Aqua Aerobics	16	5	15	59	58	22							<b>175</b>
Private Lessons	0	0	0	0	14	0							<b>14</b>
School Lessons	0	0	0	0	0	0							<b>0</b>
Swim Club	0	0	0	0	0	0							<b>0</b>
Alternate Care	0	0	20	65	59	52							<b>196</b>
Underwater Hockey	43	47	24	40	49	35							<b>238</b>
<b>Total</b>	<b>543</b>	<b>555</b>	<b>788</b>	<b>1773</b>	<b>1528</b>	<b>1437</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>6624</b>

<b>2013/14</b>	<i>Jul</i>	<i>Aug</i>	<i>Sep</i>	<i>Oct</i>	<i>Nov</i>	<i>Dec</i>	<i>Jan</i>	<i>Feb</i>	<i>Mar</i>	<i>Apr</i>	<i>May</i>	<i>Jun</i>	Total
General Entry	277	252	936	1664	1281	1324	1118	1099	1043	572	710	312	<b>10588</b>
Swim 4 Your Life	24	66	53	85	109	56	55	106	73	51	85	40	<b>803</b>
Aqua Aerobics	0	0	0	23	43	14	38	43	22	20	52	15	<b>270</b>
Private Lessons	0	0	0	8	16	0	0	12	2	3	0	0	<b>41</b>
School Lessons	0	0	0	0	0	0	0	246	0	3	0	0	<b>249</b>
Swim Club	0	0	0	0	0	0	0	0	0	48	0	0	<b>48</b>
Alternate Care	9	47	30	23	37	32	49	43	26	22	17	0	<b>335</b>
<b>Total</b>	<b>310</b>	<b>365</b>	<b>1019</b>	<b>1803</b>	<b>1486</b>	<b>1426</b>	<b>1260</b>	<b>1549</b>	<b>1166</b>	<b>719</b>	<b>864</b>	<b>367</b>	<b>12334</b>

**10. SENIOR UNITS**

**Unit 4A May Street:**

- Property vacant from October 29, 2014 (71 days)
- On two separate occasions prospective tenants offered unit – refused (too small)

**Unit 6A May Street:**

- Tenant took possession on December 11, 2014.

**Tasks in 2015**

- New General Tenancy Agreements
- Bond Lodgement (Form 2) – effective January 30, 2015 - full/part payment accepted
- Centrelink Authorisation form - multiple consent and authority

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

- Rent adjustments – effective January 30, 2015 (based on 25% base pension, no benefits taken into account)
- Water consumption charges – effective January 30, 2015 (50% of total water consumption divided by 12 for an equal charge to each unit)
- Electricity consumption charges – effective from January 30, 2015 (50% of total electricity divided by 12 for an equal charge to each unit)

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

**CORPORATE SERVICES**

**FINANCE**

<b>FINANCE STATUS DECEMBER 2014</b>
<i>Report No. D15/107 from Director Corporate Services</i>

**Accounts Payable – December 2014**

Cheques issued	27	Value	\$ 72,565.67
EFTs paid	373	Value	\$ 9,579,249.95
Cancelled EFT	0	Value	\$ (6,605.30)
Cancelled Cheques	0	Value	\$ 0.00
Total Expenditure			<u>\$ 9,645,210.32</u>

**Accounts Receivable – December 2014**

Invoices Issued	156	Value	\$ 20,377,342.76
Credits Notes	16	Value	\$ (5,869,261.33)
Aged Balances	Current		\$ 1,993,817.65
	30 Days		\$ 27,482.88
	60 Days		\$ 41,424.69
	90 Days		\$ 11,333.50
	90+ Days		<u>\$ 257,882.12</u>
Total Outstanding			\$ 2,331,940.84
Letters of Demand	2		

**Wharfage Report December 2014**

Vessel	Days at Wharf	
Southern Venture II	1	
Holothurian	3	
Arafura Queen	9	
Coral Princess	4	
Mr Nobody	2	
Cossack Pearl	1	
Jerbondy	2	
Miss Doreen	1	

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

<b>Unloads</b>		
<b>Vessel</b>	<b>Unload to</b>	<b>Unloaded</b>
Southern Venture II	Seafresh	Live Trout
Arafura Queen	<i>Aqua Cairns</i>	Live Trout
Miss Doreen	<i>Aqua Cairns</i>	Live Trout

**Rates Report –**  
**December 2014**

<b><u>R1 - Property Transfers</u></b>	Month	Number of Transfers	Comments: 2 Vacant, 1 Dwelling in Cooktown 1 Commercial/Farming outside Cooktown
When properties are sold change of ownership details are recorded by Council	Nov	12	
	Dec	4	

<b><u>R2 - Change of Addresses</u></b>	Month	Number of COAs
When ratepayers change their address details are recorded by Council	Nov	5
	Dec	3

<b><u>R3 - Returned Mail</u></b>	Month	Number of returned letters
Mailed returned as addressee no longer living at the postal address. Alternative addresses researched and mail re-sent	Nov	4
	Dec	3

<b><u>R4 - Rate and Ownership Searches</u></b>	Month	Rates Searches	Ownership Searches
Property searches are compiled on application, providing rating, property and financial information on a property	Nov	14	1
	Dec	7	

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

<b><u>R5 - Valuation Changes</u></b>	Month	Number of Valuation Changes
	Nov	9
	Dec	22

<b><u>R6 - Letters Sent</u></b>	Month	Number of General Enquiry Letters
	Nov	
	Dec	

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

**Debt**  
**Recovery**  
**Report**  
**No.**

<b>D1 - Rates Debt Outstanding</b> **Run the crystal trial balance report and go to the second last page for figures**	<b>Details</b>	<b>Statistics</b>							
	Month	Balance BF	Levied	Less Payments (includes prepayments)	Less Rebates	Interest	Discount Taken	Adjustment	Total Outstand
	November	713,241.02	3,554,965.16	-3,303,093.99	42,721.60	39,081.49	-143,606.20	-7,746.32	810,1
December	713,241.02	3,548,708.98	-3,467,021.67	-42,859.25	46,267.55	-143,468.47	-7,788.03	647,	

<b>Number of Assessments by Category</b>	Residential	Commercial	Rural	Extractive	Other
November	96	17	23	43	64
December	86	14	21	39	49

<b>Number of Assessments by Years</b>	Current	1 Year	2 Years	3 Years	Greater than 3 years
November	135	70	24	5	9
December	125	49	21	5	9

<b>Number of Assessments per outstanding balance</b>	Less than \$500.00	\$500.00 - \$1000.00	\$1000.00 - \$5000.00	\$5000.00 - \$10,000.00	\$10,000.00- \$20,000.00	Greater than \$20,000.00
November	62	53	89	22	9	8

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

December	77	32	69	18	6	7
----------	----	----	----	----	---	---

<b><u>D2 - Letters Sent</u></b>	Month	Rates Reminders	Final Demands	Legal Letters
	November			
	December			

<b><u>D3 - Payment Arrangements</u></b>	Month	Arrangements	Debt Collectors	Sale of Arrears
	November	31	136	9
	December	28	108	9

Grant update December 2014		
<b>FUNDING BODY</b>		
<b>Grant Monies Received December 2014</b>	<b>REASON</b>	<b>Amount Received</b>
Dept State Development, Infrastructure and Planning	Waterfront construction	\$1,000,000.00
Dept Local Government, Community Recovery & Resilience	GraffitiSTOP Clean Up Program	\$35,294.40
Queensland Reconstruction Authority	Cyclone Oswald 2013	\$160,456.70
Queensland Reconstruction Authority	Cyclone Oswald 2013	\$3,860,567.77
Queensland Reconstruction Authority	Cyclone Ita 2014	\$1,720,299.38
Queensland Reconstruction Authority	Cyclone Ita 2014	\$127,821.94
Queensland Reconstruction Authority	Cyclone Fletcher 2014	\$424,295.91
Queensland Reconstruction Authority	Cyclone Ita 2014	\$291,716.69
Queensland Reconstruction Authority	Cyclone Fletcher 2014	\$1,508,970.85
Queensland Reconstruction Authority	Cyclone Fletcher 2014	\$2,623,916.78
Queensland Reconstruction Authority	Cyclone Ita 2014	\$2,334,946.41
Queensland Reconstruction Authority	Cyclone Fletcher 2014	\$396,904.56
Queensland Reconstruction Authority	Cyclone Fletcher 2014	\$1,594,684.75
	<b>Total Received</b>	<b>\$16,079,876.14</b>



**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

<b>Grant Monies Outstanding as at 31 December 2014</b>		
Cape York Natural Resource Management Ltd	Strategic Pest Management 2013/2014 (3rd p'ment of contract)	\$70,400.00
Cape York Natural Resource Management Ltd	Regional Landcare Facilitator Project CY054 Milestone 11	\$35,200.00
Dept Local Government, Community Recovery & Resilience	Get Ready Queensland	\$533.00
Department Transport & Main Roads	ATSI TIDS - Bloomfield Rd	\$968,129.80
Dept Premier and Cabinet	Anzac Centenary	\$8,593.20
Dept Local Government, Community Recovery & Resilience	Waterfront Amenities/Water Play	\$350,000.00
Dept State Development, Infrastructure and Planning	Waterfront construction	\$2,500,000.00
	<b>Total outstanding</b>	<b>\$3,932,856.00</b>
<b>Note: ANNUAL SUBSIDY/GRANTS</b>		
Dept Community Safety - Emergency Management Queensland	<i>Annual Local Government Subsidy (Yearly Payment)</i>	+/- \$22,000.00
Dept of Local Government Community Recovery & Resilience <i>FAG - Roads FAG - General</i>	<i>(2014/2015 paid by quarterly instalments) Identified Road Grant - \$1,501,328 General Purpose Grant - \$7,033,425</i>	\$8,534,753.00
State Library of Queensland	<i>Library Resources (Yearly Payment)</i>	\$1,986.00
Dept Local Government & Planning	<i>Show Societies Grant (Yearly Payment)</i>	\$5,500.00
Department of Infrastructure & Transport <i>Roads to Recovery over 4 year period ATSI TIDS - dependant on Projects acceptance</i>	<i>2014-2015 (per year for the next 4 years) 2014-2015 - Streetscape</i>	\$995,000.00 \$650,000.00

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

---

**ADMINISTRATION**

	<b>BUSINESS SERVICES REPORT – JANUARY 2015 – FOR INFORMATION</b>	
	<i>Report No.D15/272 from Customer Service Supervisor</i>	

The following information details the operational works and projects currently being undertaken by the Business Services and IT Functions:

**OPERATIONAL**

- Operational Customer Service.
- Operational Stores and procurement.
- Information management (Privacy, Right To)
- Ongoing hall management (bookings).
- Ongoing property management (administrative/legal).
- Operational Correspondence and Records.
- Ongoing insurance management.
- Ongoing contract management and advice.
- Operational IT.

**BUSINESS STATISTICS**

*Customer Service December*

Phones Calls inward	<b>983</b>
Counter Enquiries	<b>385</b>
RV Permits	<b>2</b>
Front Counter Receipts	<b>118</b>

Cash	\$13061.07
Cheques	\$93617.53
Credit Cards	\$32878.77
EFT	\$2093.82
<b>TOTAL</b>	<b>\$141651.19</b>

*Stores*  
Issues: 350

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

Items Issues: 61,849  
 Value of Issues: \$340,858.65

***IT***

Ticket Counts (jobs active/open including projects) number:

15 Tickets resolved  
 15 Tickets created  
 40 Tickets updated  
 267 Current Open Tickets

Both IT Officers have started the long process of moving and settling into their new office in the old Coen Room, with the final works on data cabling and projectors to be finalised this January.

The setting up of the new WSUS server and the Upgrade of a VMware server along with troubleshooting and improving the Water Treatment Plants communication system have been a major component of IT's recent works. As has conducting tablet trials with the Gangers, Workshop and Water & Sewerage staff, providing data required by the CCC for their investigation and fixing a major hard drive failure on Survey's desktop and recovering all data.

New staff accounts have been created, old accounts deleted, and the deployment of new hardware (mainly desktops) to end users have been a feature of the last few months.

IT have had ongoing issues with the Kyocera Main Printer and the usual day-to-day troubleshooting and helping with users requests has consumed a steadily increasing number of HR hours.

***Records and Correspondence***

	DOCUMENTS	SCANNED DOCUMENTS	TOTALS
Records Officer	175	48	<b>223</b>
Correspondence Officer	48	158	<b>206</b>
RECORDS TOTALS	223	206	<b>429</b>
WHOLE OF COUNCIL	727	329	<b>1056</b>

*\* Includes documents registered for individual officers by the Records team as part of the suite of records services offered to the wider workforce.*

**AGENDA AND BUSINESS PAPERS  
19-20-21 January 2015**

**PROJECTS**

<b>Task Name</b>	<b>Status/Priority</b>
<b>Tender Concrete Products</b>	1. Pending
<b>Tender for Road Transport</b>	1. Pending
<b>Tender for Asphalt and Bitument</b>	1. Pending
<b>Register of Interests Incorporated into Authority Registers</b>	1. Pending
<b>Website Content</b>	1. Pending
<b>T0115 - Panel of Preferred Suppliers</b>	1. Pending
<b>CDCC - Renew Lease</b>	2. Lower Priority
<b>Reenactment Society - Renew Lease</b>	2. Lower Priority
<b>Historical Society - Renew Lease</b>	2. Lower Priority
<b>Review of Records Management - Possibility of Central Management.</b>	2. Lower Priority
<b>Report on Complaints for All Complaints 2011/2014.</b>	2. Lower Priority
<b>RTI on Website</b>	2. Lower Priority
<b>Lease Register - Include in Authority Registers</b>	2. Lower Priority
<b>Authority Dashboard and Review of Customer Service Procedures.</b>	2. Lower Priority
<b>FUEL Cards Aerodrome.</b>	2. Lower Priority
<b>Cultural Heritage Proceedure</b>	2. Lower Priority
<b>Phone and Cable Comparison Local Buy</b>	2. Lower Priority
<b>Privacy Impact Statement.</b>	2. Lower Priority
<b>CCC Policy</b>	2. Lower Priority
<b>Workers Compensation and Work Cover - Records Management</b>	3. Delegated
<b>IP, RTI, TRIM, Purchasing and Authority Training - Whole of Organisation</b>	3. Delegated
<b>Corporate Portfolio of Forms and Templates - Process and Action 2014</b>	3. Delegated
<b>Delegation Register</b>	3. Delegated
<b>Rebel and breeze</b>	4. EMT Decision Required
<b>Resolution vs Action Tracking</b>	4. EMT Decision Required
<b>Caymen Lease</b>	4. EMT Decision Required
<b>CCC Document Supply - Investigation</b>	5. Pending Reply - On Hold
<b>Complaint 1.</b>	5. Pending Reply - On Hold
<b>Licence to traverse - Mt Tully</b>	5. Pending Reply - On Hold
<b>Buck Jones - With Insurance Company</b>	5. Pending Reply - On Hold
<b>Hall managers requirement for Public Liability</b>	5. Pending Reply - On Hold
<b>Olkola - Gravel Lease Negotiations</b>	5. Pending Reply - On Hold
<b>Telehandler</b>	6. With Different Division

**AGENDA AND BUSINESS PAPERS  
19-20-21 January 2015**

<b>Task Name</b>	<b>Status/Priority</b>
<b>Contract for Disposal of Waste at Springmount Landfill</b>	<b>6. With Different Division</b>
<b>Shire Hall Tender</b>	<b>7. Urgent</b>
<b>Form 14 - Register</b>	<b>7. Urgent</b>
<b>RTI x 1</b>	<b>7. Urgent</b>
<b>Harrigan Street Sale - With Client</b>	<b>7. Urgent</b>
<b>Cleaning Notice of Breach</b>	<b>8. Actively Working On</b>
<b>Job Find - Bill for work to date.</b>	<b>8. Actively Working On</b>
<b>Records - Email Dumps, Central Processing, Councillors, Applying Retention to DW Docs</b>	<b>8. Actively Working On</b>
<b>Customer Service Charter</b>	<b>8. Actively Working On</b>
<b>Risk Register</b>	<b>8. Actively Working On</b>
<b>Conflict of Interest Register.</b>	<b>8. Actively Working On</b>
<b>Benefits &amp; Gifts Register</b>	<b>8. Actively Working On</b>
<b>Change in purchasing policy to reflect local government act.</b>	<b>8. Actively Working On</b>
<b>Complaint x 2</b>	<b>8. Actively Working On</b>
<b>Locality Allowance</b>	<b>8. Actively Working On</b>
<b>Gravel Review</b>	<b>8. Actively Working On</b>
<b>Vera Scarth Johnson Documents</b>	<b>8. Actively Working On</b>
<b>Change in mail procedure to deal with change in library operational practices.</b>	<b>8. Actively Working On</b>
<b>Program to reduce legal costs Native Title.</b>	<b>8. Actively Working On</b>
<b>Review of 10% Locality Allowance.</b>	<b>8. Actively Working On</b>
<b>Additional Land Christian School</b>	<b>8. Actively Working On</b>
<b>Battlecamp and Mclvor Gravel Leases</b>	<b>8. Actively Working On</b>
<b>JS Love Kitchen - Confirm Use of Donga</b>	<b>8. Actively Working On</b>
<b>Performance Appraisals.</b>	<b>8. Actively Working On</b>
<b>Strathmay Fence</b>	<b>8. Actively Working On</b>
<b>Oz Turners - Documentation Required for Claim</b>	<b>8. Actively Working On</b>
<b>Yuku Baja - Road Alignment</b>	<b>10. Deemed Completed</b>
<b>Bridge deckers</b>	<b>10. Deemed Completed</b>
<b>Insurance for town agents</b>	<b>10. Deemed Completed</b>
<b>Gravel Density - Legal Claim</b>	<b>10. Deemed Completed</b>
<b>Coen Vision Radio</b>	<b>10. Deemed Completed</b>
<b>Civica Call - Additional references.</b>	<b>10. Deemed Completed</b>
<b>Water Pumps by Quote</b>	<b>10. Deemed Completed</b>
<b>Hyrdo</b>	<b>10. Deemed Completed</b>
<b>NDRRA - Agreement to Review.</b>	<b>10. Deemed Completed</b>
<b>Waterfront Amenities to Tender - Pending Specification</b>	<b>10. Deemed Completed</b>
<b>Landfill remediation - Quotes. Local Buy</b>	<b>10. Deemed Completed</b>
<b>CYWAFAP Handover</b>	<b>10. Deemed Completed</b>

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

<b>Task Name</b>	<b>Status/Priority</b>
<b>Struber and Resumption</b>	10. Deemed Completed
<b>MOU for CINK</b>	10. Deemed Completed
<b>Woobadda Contract</b>	10. Deemed Completed
<b>Waste Contract Pickup Prices</b>	10. Deemed Completed
<b>Cleaning - 10 million Acceptable.</b>	10. Deemed Completed
<b>Q0114. Renewal of Insurance Tender - Go to Quote</b>	10. Deemed Completed
<b>Gravel Density - Legal Claim</b>	10. Deemed Completed
<b>Condom Vending Machines in Coen Public Toilets</b>	10. Deemed Completed

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

**CUSTOMER REQUESTS FOR THE MONTH OF DECEMBER 2014 (GRAPH AND TABLE)**

<b>Description</b>	<b>December</b>		
	<b>Open at Start of Month</b>	<b>Open</b>	<b>Closed</b>
<i>Abandoned Vehicle Concerns</i>	0	1	1
<i>Accidents &amp; Incidents</i>	2		
<i>Arts &amp; Culture</i>	1		
<i>Building Enquiries/Complaints</i>	2		
<i>Cemetery Request</i>	2		
<i>Commercial TV &amp; Radio</i>	1	1	1
<i>Community Consultation</i>	4		
<i>Control of Nuisances - Air-Borne Hazard</i>	0	1	1
<i>Control of Nuisances - Fire Hazard</i>	1		
<i>Control of Nuisances - Overgrown Vegetation</i>	2		
<i>Control of Nuisances Visual Pollution</i>	2		
<i>Council Properties - Maintenance</i>	25	3	1
<i>Council Properties - Plumbing Maintenance</i>	1	1	1
<i>Councillors Requests</i>	1		
<i>Damaged Traffic Signs, Rails</i>	2		
<i>Disaster &amp; Emergency Manage</i>	4		
<i>Dog Attack</i>	0	1	
<i>Dog Barking</i>	2	1	0
<i>Domestic Animals - Excess</i>	0	1	0
<i>Domestic Animals - Wandering at Large</i>	5		
<i>Donations</i>	1		
<i>Environmental Complaint</i>	3		
<i>Events</i>	1		
<i>Fallen Trees</i>	4		
<i>Feral Animal Control</i>	1		
<i>Food Premises Complaint</i>	2		
<i>Footpaths &amp; Bikeways</i>	2		
<i>Information Signage Request</i>	1		
<i>Land Use Complaints</i>	1		
<i>Landfill/Rubbish/Recycling Enquiry</i>	4	1	0
<i>Livestock Complaints</i>	4	4	1
<i>Monuments</i>	1		
<i>Parks &amp; Gardens - Other Maintenance</i>	2		
<i>Planning Enquiry</i>	1		
<i>Plumbing Enquiries/Complaints</i>	0	3	2
<i>Public Toilets - Cape Area</i>	1		
<i>Road - Opening &amp; Closing</i>	3		
<i>Road Conditions Website Enquiry</i>	1		
<i>Roads Maintenance</i>	6	4	4
<i>Senior Accommodation Living Units - General Request</i>	1		
<i>Senior Accommodation Living Units - Maintenance Request</i>	11	1	0

**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

<b>Description</b>	<b>December</b>		
	<b>Open at Start of Month</b>	<b>Open</b>	<b>Closed</b>
<i>Sewerage Diagrams/Maps</i>	1		
<i>Sports &amp; Recreation</i>	1		
<i>Stormwater Drainage</i>	1	5	3
<i>Swimming Pool</i>	2		
<i>Tourism Enquires</i>	1		
<i>Water Supply Enquiries/Repairs</i>	1	5	5
<b>Totals</b>	<b>115</b>	<b>33</b>	<b>20</b>



**AGENDA AND BUSINESS PAPERS**  
**19-20-21 January 2015**

