From: Nathan Periyathambi < Nathan P@stpconsultants.com.au >

Sent: Monday, 28 July 2025 12:00 PM

To: Mail Cook
Cc: Leigh Stegeman

Subject: OPERATIONAL WORK APPLICATION LODGEMENT - GARDEN STREET, COOKTOWN **Attachments:** 1. DA-Form-1.pdf; 2. RPEQ Certified Civil Drawings 1.pdf; 3. RPEQ Certified Estimate

of Costs 2.pdf; STP24-0929 Cover Letter Application 2.pdf

Follow Up Flag: Follow up Flag Status: Flagged

Some people who received this message don't often get email from nathanp@stpconsultants.com.au. <u>Learn</u> why this is important

To whom it may concern,

Please find the attached pdf of operational work application with supporting documents/plans. This is regarding Garden Street, Cooktown (Lot 14-19 on SP336242).

If you have any questions or concerns, Please do not hesitate to contact me.

Thank you.

Regards,

NATHAN PERIYATHAMBI

Graduate Civil Engineer

E. NathanP@stpconsultants.com.au



BRISBANE | TOWNSVILLE | CAIRNS | MACKAY | ROCKHAMPTON | WHITSUNDAYS

CONSULTANTS

P. 07 3539 8350 A. Level 3, 382 Sturt Street, Townsville, QLD, 4810 W. stpconsultants.com.au

This email and any attachments may contain personal information or information that is confidential or the subject of copyright. Any use, disclosure or copying of any part of it is prohibited. If this email is received in error please notify us by return email and delete the email.

If any attachment to this email contains CAD or dimensional data, STP Consultants is not responsible for dimensional accuracy of the data as it may be based on third party information.

Written dimensions take precedence over measured or scaled dimensions. The recipient should check any critical dimensions on site.

STP Consultants does not warrant that this email or any attachments are free from viruses or defects. Please check any attachments for viruses and defects before opening them

PARTNERS
TREVOR SLOGROVE
MATT WHITTERING
ANTHONY FLORENCE
BRIAN MAYER
JEREMY LINDSAY
CRAIG TURNER

TRENT GRAHAM

BEN MADSEN

GIL GRIFFITHS

STRUCTURAL
CIVIL
MECHANICAL
ELECTRICAL
HYDRAULIC
FIRE
SEISMIC
SECTION J

ENGINEERS



WHITSUNDAYS

P. 07 3539 8399

28 July 2025 Ref: STP24-0929

Cook Shire Council 10 Furneaux Street Cooktown, QLD 4895

Attention: Planning and Development

Dear Sir/Madam,

AUSCO MODULAR PTY LTD OPERATIONAL WORKS APPLICATION LOT 14-19 ON SP336242 GARDEN STREET, COOKTOWN, QLD 4895

On behalf of our client, Ausco Modular Pty Ltd, we enclose our application for Operational Works for the above-mentioned project, including the following documentation:

- 1. DA Form 1
- 2. RPEQ Certified Civil Works Drawings
- 3. RPEQ Certified Estimate of Costs (\$158,565 incl GST)

We have calculated the application fee to be \$1982.06 this being 1.25% of estimated cost of works as per Cook Shire Council Schedule of Fees and Charges 2025/2026.

Please email <u>civil@stpconsultants.com.au</u> verifying this calculated fee to be correct, including the assessment number and the Council reference number. Our Client, Ausco Modular Pty Ltd will then arrange payment to be made in a timely manner.

Should you require any further information in respect to this matter please do not hesitate to contact Leigh Stegeman on telephone 07 3539 8304.

Yours faithfully, STP Consultants

LEIGH STEGEMAN BEng, NER, RPEQ 10639

Partner - Senior Civil & Structural Engineer
P. 07 3539 8304 E. leigh@stpconsultants.com.au

Enc: As detailed above

Cc: Mr Andrew Lyster (Ausco Modular Pty Ltd)

 BRISBANE
 TOWNSVILLE
 CAIRNS
 MACKAY
 ROCKHAMPTON

 P. 07 3539 8300
 P. 07 3539 8350
 P. 07 3539 8380
 P. 07 3539 8390
 P. 07 3539 8344

DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 - APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Ausco Modular Pty Ltd
Contact name (only applicable for companies)	Mr Paul Petersen
Postal address (P.O. Box or street address)	Level 3/ 382 Sturt Street
Suburb	Townsville
State	QLD
Postcode	4810
Country	Australia
Contact number	0432 285 867
Email address (non-mandatory)	civil@stpconsultants.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	STP24-0929
1.1) Home-based business	
Personal details to remain private in accorda	nnce with section 264(6) of <i>Planning Act 2016</i>

2) Owner's consent
2.1) Is written consent of the owner required for this development application?
☐ Yes – the written consent of the owner(s) is attached to this development application ☐ No – proceed to 3)



PART 2 - LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable) Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see <u>DA</u> Forms Guide: Relevant plans.										
3.1) Street address and lot on plan										
	Street address AND lot on plan (all lots must be listed), or									
Stre	Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).									
	Unit No.	Stree	t No.	Street	Street Name and Type				Suburb	
۵)				Garde	en Street				Cooktow	/n
a)	Postcode	Lot N	0.	Plan 1	Plan Type and Number (e.g. RP, SP)			P, SP)	Local Go	overnment Area(s)
		14-19		SP336	6242				Cook Shire Council	
	Unit No.	Stree	t No.	Street	Name and	Туре			Suburb	
1. \										
b)	Postcode	Lot N	0.	Plan 1	Гуре and Nı	umber ((e.g. R	P, SP)	Local Go	overnment Area(s)
Note: P	g. channel dred lace each set o	ging in N f coordin	Moreton Bates in a	ay) separate	row.		note are	eas, over part of	a lot or in water	not adjoining or adjacent to land
	ordinates of	premis			e and latitud				I	
Longit	ude(s)		Latitud	le(s)		Datur			Local Government Area(s) (if applicable	
							GS84			
					DA94					
				4:			her:			
	ordinates of	1				_			1 1 0	
Eastin	g(s)	NOLL	ing(s)		Zone Ref.	Datur	wgS84		Local Gove	ernment Area(s) (if applicable)
					<u></u> 54		GS84 DA94			
					☐ 55 ☐ 56		her:			
3 3) /	dditional prei	micoc					ilici.			
			ro rolov	ant to th	sia davalan	mont or	nlinat	ion and the d	otaila of thes	o promisos baya baan
	ached in a sc						opiicai	ion and the d	etails of thes	se premises have been
	trequired									
	·									
4) Ider	ntify any of th	ne follo	wing tha	at apply	to the pren	nises a	nd pro	ovide any rele	vant details	
☐ In c	or adjacent to	o a wat	er body	or wate	ercourse or	in or a	bove a	an aquifer		
Name	of water boo	ly, wat	ercourse	e or aqı	uifer:					
On	strategic po	rt land	under tl	he <i>Tran</i>	sport Infras	structure	e Act	1994		
Lot on	plan descrip	otion of	strateg	ic port l	and:					
Name	of port author	ority for	the lot:							
☐ In a	a tidal area									
Name	of local gove	ernmer	nt for the	e tidal a	rea (if applica	able):				
i e	Name of port authority for tidal area (if applicable)									

On airport land under the Airport Assets (Restructuring	and Disposal) Act 2008			
Name of airport:				
☐ Listed on the Environmental Management Register (EM	IR) under the Environmental Protection Act 1994			
EMR site identification:				
Listed on the Contaminated Land Register (CLR) unde	r the Environmental Protection Act 1994			
CLR site identification:				
5) Are there any existing easements over the premises?				
Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see <u>DA Forms Guide</u> .				
	e included in plans submitted with this development			
□ No				

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the	e first development aspect					
a) What is the type of develo	pment? (tick only one box)					
☐ Material change of use	Reconfiguring a lot	○ Operational work	☐ Building work			
b) What is the approval type	? (tick only one box)					
□ Development permit	☐ Preliminary approval	☐ Preliminary approval that	includes a variation approval			
c) What is the level of assess	c) What is the level of assessment?					
	☐ Impact assessment (requir	res public notification)				
d) Provide a brief description lots):	of the proposal (e.g. 6 unit aparti	ment building defined as multi-unit d	welling, reconfiguration of 1 lot into 3			
Stormwater drainage for new	vly developed residential lots.					
e) Relevant plans Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see <u>DA Forms quide:</u> Relevant plans.						
Relevant plans of the pro	posed development are attach	ned to the development applic	ation			
6.2) Provide details about the	e second development aspect					
a) What is the type of develo	pment? (tick only one box)					
☐ Material change of use	Reconfiguring a lot	Operational work	☐ Building work			
b) What is the approval type	? (tick only one box)					
☐ Development permit	☐ Preliminary approval	☐ Preliminary approval that	t includes a variation approval			
c) What is the level of assess	sment?					
Code assessment	☐ Impact assessment (requir	res public notification)				
d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):						
Relevant plans.	be submitted for all aspects of this d					
Relevant plans of the proposed development are attached to the development application						



6.3) Additional aspects of c	levelonment				
· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·	e relevant to	this development application	n and the details for the	se aspects
that would be required			his form have been attached		
Not required ■					
6.4) Is the application for S	tate facilitated	developme	nt?		
Yes - Has a notice of de	eclaration bee	n given by th	ne Minister?		
⊠ No					
Section 2 – Further deve	alonment de	ataile			
7) Does the proposed deve	-		ve any of the following?		
Material change of use			ivision 1 if assessable agains	st a local planning instri	ument
Reconfiguring a lot		- complete d		р. с. 1992 р. с	
Operational work		- complete d			
Building work			PA Form 2 – Building work de	etails	
Bananig Work		complete 2	Danaing Work as	, tano	
Division 1 – Material chan	ge of use				
	to be completed it	any part of the	development application involves a	material change of use asse	essable against a
local planning instrument.8.1) Describe the proposed	l material cha	nge of use			
Provide a general descripti			e planning scheme definition	Number of dwelling	Gross floor
proposed use			definition in a new row)	units (if applicable)	area (m²)
					(if applicable)
8.2) Does the proposed us	e involve the ι	use of existin	ng buildings on the premises	?	
Yes					
□ No					
8.3) Does the proposed de	velopment rela	ate to tempo	rary accepted development	under the Planning Reg	julation?
Yes – provide details be	elow or include	e details in a	schedule to this developmen	nt application	
□ No				T	
Provide a general descripti	on of the temp	orary accep	ted development	Specify the stated pe	
				under the Planning R	regulation
Division 2 – Reconfiguring	a lot				
9 9		any part of the	development application involves re	econfiguring a lot.	
9.1) What is the total numb					
9.2) What is the nature of t	he lot reconfig	uration? (tick	all applicable boxes)		
Subdivision (complete 10)			☐ Dividing land into parts b	y agreement (complete 1	1)
☐ Boundary realignment (complete 12)		Creating or changing an from a constructed road		s to a lot



10) Subdivision							
10.1) For this devel	opment, ho	w many lots are l	being create	ed and wha	at is the intended	l use of those lots:	
Intended use of lots	created	Residential	Comn	nercial	Industrial	Other, pleas	se specify:
Number of lots crea	ated						
10.2) Will the subdi	vision be st	aged?					
☐ Yes – provide a							
 How many stages v	will the work	s include?					
What stage(s) will tapply to?							
Dividing land int parts?	to parts by a	igreement – how	many parts	are being	created and wh	at is the intended	use of the
ntended use of par	ts created	Residential	Comn	nercial	Industrial	Other, pleas	se specify:
Number of parts cre	eated						
			1		•	<u> </u>	
2) Boundary realig							
2.1) What are the			for each lot	comprising	•		
	Current					pposed lot	
ot on plan descrip	tion A	rea (m²)		Lot on plan description		Area (m²)	
l2.2) What is the re	eason for the	e boundary realig	nment?				
(0) \\((\) \\((\) \\((\) \\(\) \\((\) \\(\) \\((\) \\(\) \\((\) \\(\) \\((\) \\(\) \\((\) \) \\((\) \\((\) \) \\((\) \\((\) \) \\((\) \\((\) \) \\((\) \) \\((\) \\((\) \) \((\) \) \\((\) \)	manajana a	nd nature of any	aviating age	omonto ba	sing shanged on	d/or only proposed	
		A COMPONICION SINVE	existing eas	sements be	eing changed an	d/or any proposed	
 What are the diattach schedule if there 			3			, , ,	i easemen
attach schedule if there Existing or		two easements)	Purpose of pedestrian ac		nent? (e.g.	Identify the land	d/lot(s)
	are more than	two easements)	Purpose of		nent? (e.g.	Identify the land	d/lot(s)



14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$158,565

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application
Cook Shire Council
16) Has the local government agreed to apply a superseded planning scheme for this development application?
☐ Yes – a copy of the decision notice is attached to this development application
☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents
attached
No No

PART 5 - REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements? Note: A development application will require referral if prescribed by the Planning Regulation 2017.
No, there are no referral requirements relevant to any development aspects identified in this development application − proceed to Part 6
Matters requiring referral to the Chief Executive of the Planning Act 2016:
☐ Clearing native vegetation
Contaminated land (unexploded ordnance)
Environmentally relevant activities (ERA) (only if the ERA has not been devolved to a local government)
Fisheries – aquaculture
Fisheries – declared fish habitat area
Fisheries – marine plants
Fisheries – waterway barrier works
Hazardous chemical facilities
Heritage places – Queensland heritage place (on or near a Queensland heritage place)
☐ Infrastructure-related referrals – designated premises
☐ Infrastructure-related referrals – state transport infrastructure
☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
☐ Infrastructure-related referrals – near a state-controlled road intersection
☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
☐ Koala habitat in SEQ region – key resource areas
Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
Ports – Brisbane core port land – environmentally relevant activity (ERA)
Ports – Brisbane core port land – tidal works or work in a coastal management district
Ports – Brisbane core port land – hazardous chemical facility
Ports – Brisbane core port land – taking or interfering with water
Ports – Brisbane core port land – referable dams
Ports – Brisbane core port land – fisheries
Ports – Land within Port of Brisbane's port limits (below high-water mark)
SEQ development area
SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
SEQ northern inter-urban break – tourist activity or sport and recreation activity



SEQ northern inter-urban break – community activity SEQ northern inter-urban break – indoor recreation SEQ northern inter-urban break – urban activity SEQ northern inter-urban break – combined use Tidal works or works in a coastal management district Reconfiguring a lot in a coastal management district or for a canal Erosion prone area in a coastal management district Urban design Water-related development – taking or interfering with water Water-related development – removing quarry material (from a water) Water-related development – referable dams Water-related development – levees (category 3 levees only) Wetland protection area	rcourse or lake)				
☐ Airport land ☐ Environmentally relevant activities (ERA) (only if the ERA has been devel ☐ Heritage places – Local heritage places	olved to local government)				
Matters requiring referral to the Chief Executive of the distribution Infrastructure-related referrals – Electricity infrastructure	entity or transmission	on entity:			
 Matters requiring referral to: The Chief Executive of the holder of the licence, if not an individual of the licence is an individual of the					
Matters requiring referral to the Minister responsible for administer Ports – Brisbane core port land (where inconsistent with the Brisbane port Ports – Strategic port land					
Matters requiring referral to the relevant port operator , if applicant is Ports – Land within Port of Brisbane's port limits (below high-water ma	· ·				
Matters requiring referral to the Chief Executive of the relevant port Ports – Land within limits of another port (below high-water mark)	t authority:				
Matters requiring referral to the Gold Coast Waterways Authority: Tidal works or work in a coastal management district (in Gold Coast value)	vaters)				
Matters requiring referral to the Queensland Fire and Emergency Service: Tidal works or work in a coastal management district (involving a marina (more than six vessel berths))					
18) Has any referral agency provided a referral response for this development application? ☐ Yes – referral response(s) received and listed below are attached to this development application ☐ No					
Referral requirement Referral a	gency	Date of referral response			
Identify and describe any changes made to the proposed developmer referral response and this development application, or include details (if applicable).		_			

PART 6 - INFORMATION REQUEST

19) Information request under th	ne DA Rules				
		sarv fo	r this development applic	ation	
 I agree to receive an information request if determined necessary for this development application I do not agree to accept an information request for this development application 					
	rmation request I, the applicant, acknowle	•	. арризаны.		
that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties					
Part 3 under Chapter 1 of the DA	Rules will still apply if the application is a	n applica	ation listed under section 11.3 c	of the DA Rules or	
'	Rules will still apply if the application is fo	state fa	acilitated development		
Further advice about information reques	ets is contained in the <u>DA Forms Guide</u> .				
PART 7 – FURTHER DE	ETAILS				
20) Are there any associated de	velopment applications or curren	t appro	ovals? (e.g. a preliminary app	roval)	
Yes – provide details below	or include details in a schedule to	this d	evelopment application		
No					
List of approval/development application references	Reference number	Date		Assessment manager	
☐ Approval					
☐ Development application					
☐ Approval					
☐ Development application					
21) Has the portable long service operational work)	ce leave levy been paid? (only appl	cable to	o development applications invo	lving building work or	
☐ Yes – a copy of the receipted	d QLeave form is attached to this	devel	opment application		
 No − I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid 					
	and construction work is less tha	n \$150	,		
Amount paid	Date paid (dd/mm/yy)		QLeave levy number (A	, B or E)	
\$					
22) Is this development applicat notice?	ion in response to a show cause	notice	or required as a result of	an enforcement	
☐ Yes – show cause or enforce ☐ No	ment notice is attached				

23) Further legislative require	ments					
Environmentally relevant activities						
23.1) Is this development application also taken to be an application for an environmental authority for an Environmentally Relevant Activity (ERA) under section 115 of the <i>Environmental Protection Act 1994</i> ?						
		or an application for an enviror are provided in the table belov				
⊠ No		F				
Note : Application for an environmental authority can be found by searching "ESR/2015/1791" as a search term at www.qld.gov.au . An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.						
Proposed ERA number:	o operate. Goo <u>www.sacmooc.qta.g</u> t	Proposed ERA threshold:				
Proposed ERA name:		,				
Multiple ERAs are applications this development applications.		cation and the details have bee	en attached in a schedule to			
Hazardous chemical facilities	<u>es</u>					
23.2) Is this development app	lication for a hazardous che	mical facility?				
	on of a facility exceeding 10%	% of schedule 15 threshold is a	ttached to this development			
application ⊠ No						
Note: See <u>www.business.qld.gov.au</u>	for further information about hazard	ous chemical notifications.				
Clearing native vegetation						
	getation Management Act 199	native vegetation that require 99 is satisfied the clearing is for				
Management Act 1999 (s2		firmation from the chief execu	tive of the Vegetation			
Note: 1. Where a development app. the development application	No Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development. 2. See https://www.qld.gov.au/environment/land/vegetation/applying for further information on how to obtain a s22A determination.					
Environmental offsets						
		bed activity that may have a signatal Offsets Act 2014?	gnificant residual impact on			
_ having a significant residu	Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter					
No Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.						
Koala habitat in SEQ Regio	Koala habitat in SEQ Region					
		change of use, reconfiguring to the Planning Regulation				
Yes – the development ap	· · · · · · · · · · · · · · · · · · ·	n the koala habitat area in the l n the koala habitat area outside	•			
		emises and is current over the land, it ww.desi.qld.gov.au for further informa				



23.6) Does this development application involve taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the <i>Water Act 2000</i> ?
 Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the <i>Water Act 2000</i> may be required prior to commencing development No
Note: Contact the Department of Resources at www.resources.qld.gov.au for further information.
DA templates are available from <u>planning.statedevelopment.qld.gov.au</u> . If the development application involves:
Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
 Taking or interfering with water in a watercourse, lake or spring: complete DA Form1 Template 2 Taking overland flow water: complete DA Form 1 Template 3.
Taking Granding Hator, Samplete Birth and Frampiace 6.
Waterway barrier works
23.7) Does this application involve waterway barrier works?
☐ Yes – the relevant template is completed and attached to this development application ☐ No
DA templates are available from <u>planning.statedevelopment.qld.gov.au</u> . For a development application involving waterway barrier works, complete DA Form 1 Template 4.
Marine activities
23.8) Does this development application involve aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants?
Yes – an associated <i>resource</i> allocation authority is attached to this development application, if required under the <i>Fisheries Act 1994</i>
⊠ No
Note : See guidance materials at <u>www.daf.qld.gov.au</u> for further information.
Quarry materials from a watercourse or lake
23.9) Does this development application involve the removal of quarry materials from a watercourse or lake under the <i>Water Act 2000?</i>
☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development ☐ No
Note : Contact the Department of Resources at <u>www.resources.qld.gov.au</u> and <u>www.business.qld.gov.au</u> for further information.
Quarry materials from land under tidal waters
23.10) Does this development application involve the removal of quarry materials from land under tidal water under the <i>Coastal Protection and Management Act 1995?</i>
☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development ☐ No
Note: Contact the Department of Environment, Science and Innovation at www.desi.qld.gov.au for further information.
Referable dams
23.11) Does this development application involve a referable dam required to be failure impact assessed under section 343 of the <i>Water Supply (Safety and Reliability) Act 2008</i> (the Water Supply Act)?
Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application
No.

Water resources



Tidal work or development within a coastal management district		
23.12) Does this development application involve tidal work or development in a coastal management district?		
 Yes – the following is included with this development application: Evidence the proposal meets the code for assessable development that is prescribe if application involves prescribed tidal work) A certificate of title No 	oed tidal work (only required	
Note: See guidance materials at www.desi.qld.gov.au for further information.		
Queensland and local heritage places		
23.13) Does this development application propose development on or adjoining a place enteritage register or on a place entered in a local government's Local Heritage Register?	ered in the Queensland	
☐ Yes – details of the heritage place are provided in the table below☐ No		
Note: See guidance materials at www.desi.gld.gov.au for information requirements regarding development of Quee For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark ab development on the stated cultural heritage significance of that place. See guidance materials at www.planning.stainformation regarding assessment of Queensland heritage places.	oce, provisions are in place out the effect or impact of,	
Name of the heritage place: Place ID:		
Decision under section 62 of the Transport Infrastructure Act 1994		
23.14) Does this development application involve new or changed access to a state-controll	ed road?	
 Yes – this application will be taken to be an application for a decision under section 62 of Infrastructure Act 1994 (subject to the conditions in section 75 of the Transport Infrastructure satisfied) No 		
Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Plann	ing Regulation	
23.15) Does this development application involve reconfiguring a lot into 2 or more lots in ce (except rural residential zones), where at least one road is created or extended?	ertain residential zones	
 ☐ Yes – Schedule 12A is applicable to the development application and the assessment be schedule 12A have been considered ☒ No 	enchmarks contained in	
Note : See guidance materials at www.planning.statedevelopment.qld.gov.au for further information.		
PART 8 – CHECKLIST AND APPLICANT DECLARATION		
24) Development application checklist		
I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17 Note: See the Planning Regulation 2017 for referral requirements	⊠ Yes	
If building work is associated with the proposed development, Parts 4 to 6 of <u>DA Form 2 – Building work details</u> have been completed and attached to this development application	☐ Yes ☑ Not applicable	
Supporting information addressing any applicable assessment benchmarks is with the development application Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report	⊠ v	
Note : This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see <u>DA</u>	⊠ Yes	

Forms Guide: Planning Report Template.

information, see <u>DA Forms Guide: Relevant plans.</u>

development permit is issued (see 21)

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further

The portable long service leave levy for QLeave has been paid, or will be paid before a



■ Not applicable

25) Applicant declaration				
By making this development application, I declare that correct	all information in this development application is true and			
Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications ∴				
	for the development application where written information			
is required or permitted pursuant to sections 11 and 12				
Note: It is unlawful to intentionally provide false or misleading information				
 Privacy – Personal information collected in this form will be assessment manager, any relevant referral agency and/or which may be engaged by those entities) while processing All information relating to this development application man published on the assessment manager's and/or referral agency Personal information will not be disclosed for a purpose un Regulation 2017 and the DA Rules except where: such disclosure is in accordance with the provisions at Act 2016 and the Planning Regulation 2017, and the answer in the provision of the planning Regulation 2017, and the answer in the provision of the planning Regulation 2017. 	building certifier (including any professional advisers g, assessing and deciding the development application. y be available for inspection and purchase, and/or gency's website. In related to the <i>Planning Act 2016</i> , Planning Dout public access to documents contained in the <i>Planning</i>			
Planning Regulation 2017; or				
• required by other legislation (including the Right to Info	ormation Act 2009); or			
otherwise required by law.				
This information may be stored in relevant databases. The <i>Public Records Act 2002.</i>	e information collected will be retained as required by the			
PART 9 – FOR COMPLETION OF THE AS	SSESSMENT MANAGER - FOR OFFICE			
PART 9 – FOR COMPLETION OF THE AS ISE ONLY	SSESSMENT MANAGER – FOR OFFICE			
JSE ONLY	per(s):			
Date received: Reference number	per(s):			
Date received: Reference numbers Notification of engagement of alternative assessment man	per(s):			
Date received: Notification of engagement of alternative assessment man Prescribed assessment manager	per(s):			
Date received: Notification of engagement of alternative assessment man Prescribed assessment manager Name of chosen assessment manager	per(s):			
Date received: Notification of engagement of alternative assessment man Prescribed assessment manager Name of chosen assessment manager Date chosen assessment manager engaged	per(s):			
Date received: Reference number of alternative assessment man Prescribed assessment manager Name of chosen assessment manager Date chosen assessment manager engaged Contact number of chosen assessment manager Relevant licence number(s) of chosen assessment	per(s):			
Date received: Reference number of alternative assessment man Prescribed assessment manager Name of chosen assessment manager Date chosen assessment manager engaged Contact number of chosen assessment manager Relevant licence number(s) of chosen assessment	per(s):			
Date received: Notification of engagement of alternative assessment man Prescribed assessment manager Name of chosen assessment manager Date chosen assessment manager engaged Contact number of chosen assessment manager Relevant licence number(s) of chosen assessment manager QLeave notification and payment	per(s):			
Date received: Notification of engagement of alternative assessment man Prescribed assessment manager Name of chosen assessment manager Date chosen assessment manager engaged Contact number of chosen assessment manager Relevant licence number(s) of chosen assessment manager QLeave notification and payment Note: For completion by assessment manager if applicable	per(s):			
Date received: Reference number of alternative assessment many Prescribed assessment manager Name of chosen assessment manager Date chosen assessment manager engaged Contact number of chosen assessment manager Relevant licence number(s) of chosen assessment manager QLeave notification and payment Note: For completion by assessment manager if applicable Description of the work	per(s):			

Name of officer who sighted the form

TRANCHE 1 INTER-ALLOTMENT DRAINAGE

GARDEN STREET, COOKTOWN LOTS 14-19 ON SP336242

DRAWING SHEET LIST

Sheet Number	Drawing Title
GENERAL ARRANGEMENT	
C00.01	COVER PAGE
C00.02	PROJECT NOTES - SHEET 1
C00.03	PROJECT NOTES - SHEET 2
C00.04	GENERAL ARRANGEMENT LAYOUT PLAN
C00.05	TYPICAL SITE SECTIONS - SHEET 1
C00.06	TYPICAL SITE SECTIONS - SHEET 2
STORMWATER DRAINAGE	PLAN
C04.01	STORMWATER DRAINAGE LAYOUT PLAN – SHEET 1
C04.02	STORMWATER DRAINAGE LAYOUT PLAN – SHEET 2
C04.03	STORMWATER LONGITUDINAL SECTION
C04.04	STORMWATER DATA TABLE
MISCELLANEOUS DETAILS	
C06.01	MISCELLANEOUS DETAILS

- LOCATION OF SITE

AMENDMENTS

Queensland

Energy and Public Works

AUSCO

01.07.2025

01.07.2025

RPEQ: 13231

A1 SIZE

01.07.2025

103 Riverview Rd, Riverview, QLD 4303

CONSULTANTS STP Project No.: STP24-0929: 93485

TRANCHE 1

DRAINAGE

COVER PAGE

93485/SITE/DD/C00.0

INTER-ALLOTMENT

GARDEN STREET, COOKTOWN

DISCIPLINE TEAM LEADER

Department of Housing



LOCALITY MAP

SCALE 1:500 (A1) 1:1000 (A3)
DO NOT SCALE USE ONLY THE DIMENSIONS PROVIDED.

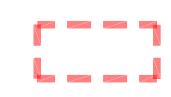
OPM 92559

SURVEY INFORMATION

SURVEYOR: TWIN SURVEYS PTY LTD PARISH OF: REFER SURVEY COUNTY OF: REFER SURVEY LOCAL AUTHORITY: COOK SHIRE COUNCIL

LEVEL DATUM RL.11391 AHD DERIVED

REFERENCE PLANS No. 8645-ASCON Rev C



FOR INFORMATION ONLY









SITE LAYOUT PLAN SCALE 1:500 @ A1

SP336242

SP336242

20 SP336242

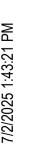
24 SP336242

RP700331

RP700331

RP700330

 $STRE_{I}$



GENERAL NOTES:

- COMPLETE THE WORKS. IF IN DOUBT OR FURTHER CLARIFICATION IS REQUIRED, THE CONTRACTOR IS TO OBTAIN CLARIFICATION FROM THE SUPERINTENDENT PRIOR TO SUBMITTING THEIR TENDER PRICE. SHOULD THE CONTRACTOR FAIL TO OBTAIN CLARIFICATION FROM THE SUPERINTENDENT IT IS DEEMED THAT THE CONTRACTOR HAS BEEN PROVIDED SUFFICIENT INFORMATION TO ADEQUATELY PRICE THE ENTIRE WORKS AND THAT THE CONTRACTOR HAS ALLOWED FOR ALL WORKS REQUIRED. IN PROVIDING CLARIFICATION, THE SUPERINTENDENT HAS NOT ASSUMED A DUTY OF CARE TO THE CONTRACTOR
- 2. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL OTHER WORKING DRAWINGS, SPECIFICATIONS AND WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE CONTRACT. ALL DISCREPANCIES AND VARIATIONS SHALL BE REFERRED TO THE SUPERINTENDENT FOR APPROVAL BEFORE PROCEEDING WITH THE WORK.
- 3. CONTRACTOR TO OBTAIN ALL APPROVALS AND PERMITS FOR WORKING WITHIN LOCAL GOVERNMENT AUTHORITY ROADS AND STATE GOVERNMENT ROADS.
- 4. WORKS SHALL NOT COMMENCE UNTIL A 'FOR CONSTRUCTION' SET OF DRAWINGS HAS BEEN APPROVED BY THE RELEVANT AUTHORITY
- 5. CONTRACTOR TO ENSURE THAT ALL THE REQUIRED CONDITIONS OF THE DEVELOPMENT APPROVAL HAVE BEEN SATISFIED PRIOR TO STARTING ON SITE
- 6. ALL WORK TO CONFORM TO THE LOCAL GOVERNMENT AUTHORITY STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE SHOWN ON PLANS OR DIRECTED BY THE SUPERINTENDENT.
- 7. CONTRACTOR TO ENSURE THAT ALL WORK, SERVICES AND PRODUCTS ARE FIT FOR PURPOSE.
- 8. ALL SETOUT TO ARCHITECTS DETAILS UNLESS NOTED OTHERWISE (U.N.O.).
- 9. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS. ALL DIMENSIONS ARE IN METRES U.N.O.
- 10. STP CONSULTANTS PTY LTD MAY PROVIDE, BY AGREEMENT WITH CERTAIN PARTIES, MATERIALS STORED ELECTRONICALLY. THE PARTIES RECOGNIZE THAT DATA, PLANS, SPECIFICATIONS, REPORTS, DOCUMENTS, OR OTHER INFORMATION RECORDED ON OR TRANSMITTED AS ELECTRONIC MEDIA (INCLUDING BUT NOT NECESSARILY LIMITED TO "CAD AND 12D DOCUMENTS") ARE SUBJECT TO UNDETECTABLE ALTERATION, EITHER INTENTIONAL OR UNINTENTIONAL, DUE TO,
- AMONG OTHER CAUSES, TRANSMISSION, CONVERSION, MEDIA DEGRADATION, SOFTWARE ERROR, OR HUMAN ALTERATION. ACCORDINGLY, ALL SUCH DOCUMENTS ARE PROVIDED TO THE PARTIES FOR INFORMATIONAL PURPOSES ONLY AND NOT AS AN END PRODUCT OR AS A RECORD DOCUMENT. ANY RELIANCE THEREON IS DEEMED TO BE UNREASONABLE AND UNENFORCEABLE. THE SIGNED AND/OR STAMPED HARD COPIES OF THE ENGINEERING DRAWINGS ARE THE ONLY TRUE CONTRACT DOCUMENTS OF RECORD. 11. IN CASE OF DOUBT, ASK!

SURVEY AND SETOUT:

- 1. ALL LEVELS ARE TO BE TO A.H.D LEVEL DATUM. REFER TO SURVEY DRAWING No. 8645 Ascons Rev C
- 2. ALL SETOUT TO ARCHITECTS DETAILS UNLESS NOTED OTHERWISE (U.N.O.). 3. SETOUT SHALL BE MADE BY DIGITAL ENGINEERING DATA AND CONFIRMED ONSITE PRIOR TO CONSTRUCTION BY A
- REGISTERED SURVEYOR

EXISTING SERVICES NOTES:

- 1. THE CONTRACTOR IS TO MAKE THEMSELVES FULLY AWARE OF ALL EXISTING SERVICES, FOR EXAMPLE DIAL BEFORE YOU DIG TO BE CONTACTED FOR THE LOCATION OF EXISTING PUBLIC UTILITIES PRIOR TO EXCAVATION.
- 2. THE ALIGNMENT & LEVEL OF EXISTING SERVICES SHOWN ON THIS DRAWING HAS BEEN COMPILED FROM SURVEY DATA & COUNCIL RECORDS & IS INDICATIVE ONLY. PRIOR TO COMMENCING CONSTRUCTION OR ORDERING ANY MATERIALS THE CONTRACTOR IS TO CONFIRM THE ALIGNMENT & LEVEL OF ALL SERVICES AFFECTED BY THE PROPOSED WORKS.
- : WHILE DUE CARE IS TAKEN BY STP CONSULTANTS IN CONFIRMING THE LOCATION OF EXISTING SERVICES IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THESE SERVICE LOCATIONS. IN SOME INSTANCES, SERVICES MAY BE OMITTED FROM THE DRAWINGS
- 4. A REPRESENTATIVE FOR EACH SERVICE PROVIDER TO BE PRESENT ON SITE WHEN WORKING WITHIN 3.0m OF EACH SERVICE IF THE SERVICES ARE PUBLIC ASSET SERVICES.
- 5. SHOULD INVERT LEVELS OR LOCATION OF ANY SERVICE CONNECTION POINTS DIFFER TO THAT INDICATED ON THE DRAWINGS THEN THE SUPERINTENDENT SHALL BE NOTIFIED IMMEDIATELY.
- 6. ANY WORK ON EXISTING SERVICES THAT REQUIRE RELOCATION SHALL BE CARRIED OUT BY THE RELEVANT AUTHORITY AND SHALL BE CO-ORDINATED BY THE CONTRACTOR. CONTRACTOR TO OBTAIN REQUIRED APPROVALS FROM THE RELEVANT
- 7. IF THE CONTRACTOR CAUSES ANY DAMAGE TO EXISTING SERVICES, THEN RECTIFICATION WORK SHALL BE AT THE 8. ALL EXISTING SERVICES AND STRUCTURES ARE TO BE MAINTAINED IN GOOD ORDER FOR THE DURATION OF THE CONTRACT.
- 9. DISCLAIMER WHILST EVERY EFFORT HAS BEEN MADE TO ENSURE THAT THE INFORMATION PROVIDED IN THIS DRAWING/DESIGN WAS ACCURATE AT THE TIME IT WAS COMPILED, AS PART OF THE LOCAL COUNCILS "AS CONSTRUCTED" RECORDS, IT REMAINS THE RESPONSIBILITY OF PROPERTY OWNERS AND THEIR CONTRACTORS, SUB-CONTRACTORS, EMPLOYEES, SERVANTS AND AGENTS AS APPROPRIATE IN THE CIRCUMSTANCES TO MAKE ALL REASONABLE EFFORTS TO ASCERTAIN THE PRECISE LOCATION OF EXISTING INFRASTRUCTURE INCLUDING WATER MAINS, SEWERS AND DRAINS BEFORE UNDERTAKING EXCAVATION OR CONSTRUCTION WORK, USERS OF THE INFORMATION SHOULD BE AWARE THAT SINCE THE ORIGINAL RECORDING OF THE DEPTHS IN RELATION TO GROUND LEVELS, CHANGES MAY HAVE OCCURRED AS A RESULT OF SUBSEQUENT WORK OR ACTIVITIES INVOLVING FILLING OR EXCAVATION. CONSEQUENTLY, THE LOCAL GOVERNMENT AUTHORITY AND STP CONSULTANTS TAKES NO RESPONSIBILITY FOR ANY APPARENT ERROR OR INACCURACIES THAT ARE SHOWN TO EXIST AS AT THE DATE INFORMATION WAS PROVIDED OR AT A LATER DATE. THE ABOVE ALSO APPLIES TO LOCATION AND DEPTH OF ALL OTHER PUBLIC UTILITIES.

DILAPIDATION SURVEY:

- 1. CONTRACTOR SHALL PROVIDE A FULL DILAPIDATION CONDITION REPORT (AT THEIR COST) FOR THE FOLLOWING EXISTING BUILDINGS AND UTILITY SERVICES PRIOR TO UNDERTAKING ANY DEMOLITION OR CIVIL EARTHWORKS, ROADWORKS, STORMWATER, WATER AND SEWERAGE RETICULATION - ALL EXISTING STRUCTURES AND UTILITY SERVICES WITHIN 5m OF
- . UPON COMPLETION OF THE WORKS. THE CONTRACTOR SHALL PREPARE A FINAL DILAPIDATION SURVEY AND PROVIDE A COPY TO THE SUPERINTENDENT. IF ANY DAMAGE IS CAUSED TO THE EXISTING BUILDINGS OR SERVICES INFRASTRUCTURE. THE CONTRACTOR SHALL ARRANGE FOR APPROPRIATE REPAIR AT THEIR COST.

SAFETY NOTES:

- 1. THESE PROJECT NOTES SHOULD BE READ IN CONJUNCTION WITH THE SAFETY IN DESIGN REPORT DRAWING WHICH NOTES DESIGN HAZARDS AND THE ASSOCIATED MITIGATION, WHILE ALSO NOTING POTENTIAL CONSTRUCTIONS HAZARDS FOR THE CONTRACTOR TO CONSIDER DURING TENDERING AND CONSTRUCTION
- STP CONSULTANTS RECOGNIZES THE IMPORTANCE OF OCCUPATIONAL HEALTH AND SAFETY. HOWEVER, STP CONSULTANTS HAS NOT BEEN ENGAGED TO DEVELOP, CHECK, SUPERVISE OR CONTROL WORKERS OR METHODS OF WORK. STP CONSULTANTS DOES NOT HAVE THE CAPACITY OR AUTHORITY TO CONTROL WORKERS OR METHODS OF WORK. NOTHING IN THESE DESIGNS SHOULD BE INTERPRETED AS GOING BEYOND THE STRUCTURAL INTEGRITY OF THE SUBJECT MATTER OF THE DESIGNS AND THEY SHOULD NOT BE USED AS AN INDICATOR OF THE APPROPRIATE METHODS OF WORK ON IN OR AROUND THE SUBJECT MATTER. CONCERNS ABOUT THE CONDUCT OF WORKERS OR METHODS OF WORK SHOULD BE RAISED WITH THE APPROPRIATE SAFETY OFFICIAL ON SITE.

EROSION AND SEDIMENT CONTROL NOTES:

- 1. THE CONTRACTOR SHALL PROVIDE AN EROSION AND SEDIMENT CONTROL MANAGEMENT PLAN (ESCP), PREPARED BY A SUITABLY QUALIFIED PERSON, TO THE SUPERINTENDENT FOR REVIEW PRIOR TO UNDERTAKING ANY WORKS ON SITE. THE CONTRACTOR MAY ALSO HAVE TO SUBMIT THE ESCP TO THE LOCAL AUTHORITY FOR APPROVAL IN ACCORDANCE WITH THE DEVELOPMENT CONDITIONS. THE ESCP SHALL AT A MINIMUM TAKE INTO ACCOUNT, BUT NOT BE LIMITED TO, THE FOLLOWING:
- THE TIME OF YEAR FOR CONSTRUCTION (WET OR DRY SEASON)
- THE EXTENT (AREA) AND TIME OF THE SITE EXPOSED TO EROSION THE SOIL TYPE (ERODIBILITY/MOISTURE SENSITIVE)
- THE TIME THE SITE WILL BE EXPOSED TO EROSION AND NOT STABILISED.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN AN UPDATED ESCP, INCLUDING DRAWINGS, IN ACCORDANCE WITH THEIR CONSTRUCTION PROGRAM, THE IECA MANUAL AND THE EROSION HAZARD RISK APPROPRIATE AT THE TIME OF

CONSTRUCTION. THE ESCP DOCUMENTS ARE TO BE AVAILABLE ONSITE AT ALL TIMES FOR REVIEW.

- 2. THE EROSION SEDIMENT DEVICES TO BE INSTALLED BY THE CONTRACTOR ARE TO BE APPROPRIATE FOR THE STAGE OF WORKS AND IN COMPLIANCE WITH THE BEST PRACTICE EROSION AND SEDIMENT GUIDELINES - IECA.
- 3. CONSTRUCTION OF SEDIMENT MANAGEMENT DEVICES SHALL BE COMPLETED AND EFFECTIVE PRIOR TO STRIPPING OF TOPSOIL AND BULK EARTHWORKS TO THE SITE.
- 4. SEDIMENT CONTROL MANAGEMENT DEVICES ARE TO REMAIN IN PLACE UNTIL THE EXPOSED SOIL IS EFFECTIVELY STABILISED IN ACCORDANCE WITH THE STATE PLANNING POLICY (SPP). 5. BOTH TEMPORARY AND PERMANENT SEDIMENT CONTROL MANAGEMENT DEVICES SHALL BE MAINTAINED DURING
- CONSTRUCTION TO ENSURE SEDIMENT IS CONTAINED ON SITE. SEDIMENT FENCES ARE TO BE CLEANED WHEN CAPACITY IS REDUCED BY 30% 6. IF EROSION AND SEDIMENT CONTROL DEVICES HAVE BEEN FOUND TO BE INEFFECTIVE OR FAILED IN SERVICE. DUE TO UNFORESEEN CIRCUMSTANCES, CORRECTIVE ACTION IS TO BE UNDERTAKEN IMMEDIATELY BY THE CONTRACTOR AND
- WRITTEN ADVICE OF THE CORRECTIVE ACTION PROVIDED TO THE SUPERINTENDENT 7. ALL DISTURBED GROUND IS TO BE GRASS SEEDED AND HYDROMULCHED TO ENSURE THAT ALL EXPOSED AREAS ARE STABILISED WITHIN ONE MONTH OF BEING DISTURBED. ALL BATTERS STEEPER THAN 1V:6H ARE TO BE TOPSOILED AND
- 8. THE STAGED ESC WORKS AND ASSOCIATED ESC DEVICES ARE DESIGNED TO RETAIN STORMWATER RUNOFF TO ALLOW SEDIMENT TO BE REMOVED PRIOR TO DISCHARGE FROM SITE. SITE EARTHWORKS WHICH BECOME EXCESSIVELY WET DUE TO STANDING WATER FROM THE ESC DEVICES OR THE CONTRACTORS CONSTRUCTION TECHNIQUES, WILL REQUIRE REWORK TO DRY OUT AND RE-COMPACT THE MATERIAL IN ACCORDANCE WITH THE EARTHWORKS SPECIFICATION. THE COST TO RECTIFY AND RE-COMPACT THE SATURATED MATERIAL SHALL BE AT THE CONTRACTORS EXPENSE AS THE WHOLE OF WORKS UNDER CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE DATE OF PRACTICAL

ACID SULPHATE SOILS NOTES:

SITE HAS POTENTIAL TO CONTAIN ACID SULPHATE SOILS. CONTRACTOR TO ALLOW PC SUM FOR TESTING & TREATMENT OF

ACID SULPHATE SOILS SHOULD THEY BE PRESENT ON SITE. 2. CONTRACTOR SHALL PREPARE A SITE-SPECIFIC ACID SULPHATE MANAGEMENT PLAN OUTLINING ALL MEASURES TO BE UNDERTAKEN SO WORKS COMPLY WITH THE REQUIREMENTS SETOUT IN THE STATE PLANNING POLICY 2/02. PRIOR TO ANY DISTURBANCE OF SOILS.

PROVISION FOR TRAFFIC & EXTERNAL WORKS

- DEMANDS, LOSSES, DAMAGES, COSTS, CHARGES AND EXPENSES, OR OTHER LIABILITIES WHATSOEVER, IN RESPECT OF, OR ARISING FROM, ANY DAMAGES TO THE ROAD FRONTING THE SITE DURING THE CONSTRUCTION OF THE WORKS. THE CONTRACTOR SHALL:
- a. OBTAIN PERMISSION FROM THE LOCAL COUNCIL AND THE QUEENSLAND DEPARTMENT TRANSPORT AND MAIN ROADS FOR ACCESS TRACKS BEFORE OR DOING ANY WORK EXTERNAL TO THE SITE. b. INDEMNIFY LOCAL COUNCIL, THE PRINCIPAL, SUPERINTENDENT, AND THE QUEENSLAND DEPARTMENT OF TRANSPORT
- AND MAIN ROADS AGAINST CLAIMS RESULTING FROM THE CONTRACTOR'S OPERATIONS OF PLANT INTERNAL AND EXTERNAL TO THE SITE
- c. COMPLY WITH THE DIRECTIONS AND REQUIREMENTS OF LOCAL COUNCIL AND THE DEPARTMENT OF TRANSPORT AND MAIN ROADS 'MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES' WITH RELATION TO WARNING SIGNS AND TRAFFIC
- d. REPAIR. MAINTAIN AND MAKE GOOD TO THE SUPERINTENDENT'S SATISFACTION ANY DAMAGE. THE CONTRACTOR SHALL SUBMIT A TRAFFIC MANAGEMENT PLAN TO THE LOCAL COUNCIL FOR APPROVAL. PRIOR TO 11. ALL ROAD WORKS KERB TRANSITIONING BETWEEN KERB TYPES TO BE CARRIED OUT OVER 1.5m MINIMUM.
- IMPLEMENTATION OF THE TRAFFIC MANAGEMENT PLAN THE CONTRACTOR WITH A FULL COPY TO THE SUPERINTENDENT THE TRAFFIC MANAGEMENT PLAN SHALL CONFORM TO THE REQUIREMENTS OF THE DEPARTMENT OF MAIN ROADS PUBLICATION 'MANUAL IF UNIFORM TRAFFIC CONTROL DEVICES'. 5. THE CONTRACTOR SHALL NOT COMMENCE WORK ON THE SITE UNTIL THE APPROPRIATE PERMITS HAVE BEEN OBTAINED 1. ALL STORMWATER DRAINAGE PIPES 225¢ OR SMALLER SHALL BE CLASS HD uPVC (SN8) UNLESS NOTED OTHERWISE.
- FROM LOCAL COUNCIL AND THE DEPARTMENT OF TRANSPORT AND MAIN ROADS (DTMR). COPIES OF THE PERMITS SHALL BE 2. ALL STORMWATER PIPES 3000 OR GREATER SHALL BE CLASS '3' RCP OR POLYPROPYLENE (SN8) UNLESS NOTED PRACTICAL COMPLETION/ON MAINTENANCE FORWARDED TO THE SUPERINTENDENT AND AN ADDITIONAL COPY SHALL BE MAINTAINED ON-SITE. PERMITS SHALL BE OBTAINED FROM THE COUNCIL AND DTMR PRIOR TO:
- a CROSSING THE KERB WITH HEAVY VEHICLES
- b. WORKING IN THE ROAD RESERVE. c. CONNECTION TO A COUNCIL ROAD
- d. STORING OF MATERIAL ON THE FOOTPATH OR ROAD e. THE PROVISION OF HOARDING AND GANTRIES
- 6. IF DAMAGE IS CAUSED TO EXISTING ROADWAYS OR FOOTPATHS BY THE CONTRACTOR, THE DAMAGED SECTIONS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S COST TO THE ENTIRE SATISFACTION OF THE SUPERINTENDENT. IN THE 8. THE CONTRACTOR IS TO PROVIDE SUITABLE TEMPORARY PROTECTION OVER THE STORMWATER PIPEWORK FOR ALL EVENT THAT THE CONTRACTOR FAILS TO MAKE ANY NECESSARY REPAIRS, OR THE COUNCIL MOVES TO RECOVER THE COST OF ANY REPAIRS FROM THE PRINCIPAL, THE PRINCIPAL SHALL, ON THE CERTIFICATION OF THE SUPERINTENDENT, DEDUCT 9. FILL BETWEEN TWIN BOX CULVERTS TO BE LEAN MIX.
- FROM MONIES WHICH MAY BECOME DUE TO THE CONTRACTOR. 7. ALL OTHER PERMITS REQUIRED TO COMPLETE THE WORKS FROM BUT NOT LIMITED TO THE QUEENSLAND POLICE SERVICE, 11. DE-WATERING WHERE REQUIRED TO BE AT THE CONTRACTORS COST.
- 8. ANY ASSOCIATED FEES WITH OBTAINING THE REQUIRED PERMITS SHALL BE PAID BY THE CONTRACTOR AND INCLUDED IN 14. MINIMUM COVER TO STORMWATER PIPES TO BE AS FOLLOWS:

EARTHWORKS NOTES:

- SOILS REPORT: ALL EARTHWORKS AND SITE PREPARATION TO BE CARRIED OUT IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT **218714.00 R.001.Rev0** PREPARED BY **DOUGLAS PARTNERS** A COPY OF THIS CAN BE OBTAINED FROM THE SUPERINTENDENT.
- SITE PREPARATION: ALL SITE EXISTING TOPSOIL IS TO BE STRIPPED WITHIN THE DEVELOPMENT FOOTPRINT AND STOCKPILED ON SITE FOR REUSE. THE LOCATION OF THE STOCKPILE IS TO BE NOMINATED BY THE CONTRACTOR AND AGREED WITH THE SUPERINTENDENT. EXCAVATE AND REMOVE ALL VEGETATION, ORGANIC TOPSOIL AND OTHER DELETERIOUS MATERIAL FROM SITE. ALL MATERIAL THAT IS DEEMED NOT SUITABLE FOR REUSE WITHIN THE PROJECT OR IS NOTED AS UNCONTROLLED FILL IN THE GEOTECHNICAL REPORT IS TO BE DISPOSED OFF SITE. THE CONTRACTOR IS TO INCLUDE DUE ALLOWANCE FOR DISPOSAL OFF SITE WITHIN THEIR TENDER SUBMISSION. EXCAVATE AND TRIM THE BUILDING OR PAVEMENT PLATFORMS AS REQUIRED. SITE PREPARATION TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. IF THE GEOTECHNICAL REPORT DOES NOT PROVIDE ADVICE ON SITE PREPARATION, THEN PROOF ROLL THE EXPOSED SUBGRADE USING SIX PASSES OF A 10 TONNE MINIMUM STATIC WEIGHT VIBRATORY PAD TYPE ROLLER TO IDENTIFY ANY SOFT SPOTS. THESE ZONES MUST BE INSPECTED BY AN APPROVED GEOTECHNICAL ENGINEER OR GITA TO ASSESS THE EXTENT TO BE RECTIFIED. SOFT SPOTS SHALL BE EXCAVATED A MINIMUM 300mm AND REPLACED WITH SELECT BACKFILL COMPACTED IN LAYERS NOT EXCEEDING 150mm COMPACTED THICKNESS TO COMPACTION LISTED UNDER "FILL MATERIAL". THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND CERTIFICATION OF A SUITABLE WORKING PLATFORM FOR THE SITE, INCLUDING BUT NOT LIMITED TO CRANES AND MACHINERY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SAFE BATTERS AND EXCAVATIONS. THE BUILDING PAD AND SUBGRADE PREPARATION ARE TO EXTEND 1m PAST STRUCTURAL SLAB EXTENTS
- FILL MATERIAL: BUILDING PAD FILL SHALL BE COMPACTED IN MAXIMUM 150mm THICK LAYERS (COMPACTED THICKNESS) TO 98% STANDARD DRY DENSITY RATIO. FILL UNDER ROADS TO BE IN ACCORDANCE WITH ROADWORKS NOTES. ALL BUILDING PADS AND STRUCTURE FILLING SHALL BE UNDER LEVEL 1 GEOTECHNICAL SUPERVISION OF AN RPEQ GEOTECHNICAL ENGINEER OR GITA AND SHALL BE IN THE BULK EARTHWORKS TENDER ALLOWANCE. THE FREQUENCY OF TESTING FILL COMPACTION SHALL BE AS SPECIFIED IN SECTION 8 OF AS 3798 "GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS". FILL SHALL BE COMPACTED AND MAINTAINED AT MOISTURE CONTENTS AT PLACEMENT WITHIN THE RANGE PLUS 2% TO MINUS 2% OF STANDARD OPTIMUM MOISTURE CONTENT U.N.O. FILL MATERIAL SHALL BE OF UNIFORM QUALITY AND FREE FROM VEGETABLE MATTER. IMPORTED STRUCTURAL FILL TO BUILDING PADS OF STRUCTURES. IS TO CONFORM TO THE FOLLOWING:
- CBR: LINEAR SHRINKAGE 8% MAX LIQUID LIMIT: 35% MAX PLASTICITY INDEX: 15% MAX
- SHRINK/ SWELL INDEX: 1.0% MAX BEARING CAPACITY: TO STRUCTURAL ENGINEERING DESIGN REQUIREMENTS NOT LESS THAN 100kPa ALLOWABLE. FILL SHALL ALLOW REACTIVITY TO BE RECLASSIFIED AS 'CLASS S' TO AS2870-2011.

<u>AS SIEVE</u> <u>% PASSING</u> 75mm 100% 4.75mm 30 - 100%

0.0075mm 3 - 30% 4. SUB-GRADE REPLACEMENT (SUB-BASE 2): SUB-BASE 2 MATERIAL SHALL BE ROADBASE MATERIAL OF:

12%

- MINIMUM CBR SUB-BASE 2 MINIMUM THICKNESS: 150mm
- MAXIMUM PARTICLE SIZE 40mm 35%
- MAXIMUM LIQUID LIMIT: MAXIMUM PLASTICITY INDEX:
- UNLESS OTHERWISE APPROVED BY GEOTECHNICAL ENGINEER, PLACE CBR 15 MATERIAL TO FINAL COMPACTED THICKNESS OF 150mm COMPACTED TO 98% STANDARD MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS 1289
- EXTERNAL FOOTPATHS & SLABS: PROVIDE WATERPROOF DAMP COURSE 0.2p VAPOUR BARRIER ON 50MM SAND BED OR 150MM SUB-BASE GRAVEL TYPE 2.3 IF SUBJECT TO LIGHT VEHICLE TRAFFIC. CUT MATERIAL: ALL CUT AREAS ARE TO BE COMPACTED TO 100% COMPACTION. ALL EXCESS CUT MATERIAL, TOPSOIL,
- DEBRIS AND WASTE TO BE REMOVED FROM SITE AND SHALL BE INCLUDED IN THE WITHIN THE CONTRACTOR TENDER.
- 7. CUT AND FILL: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENGAGE A NATA CERTIFIED GEOTECHNICAL INSPECTION AND TESTING AUTHORITY (GITA) TO PROVIDE LEVEL 1 INSPECTIONS AND TESTING OF THE EARTHWORKS IN ACCORDANCE WITH AS3798 - GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS. THE COST OF THE LEVEL 1 INSPECTIONS AND TESTING IS TO BE INCLUDED IN THE CONTRACTORS' COSTS. EARTHWORKS UNDER PROPOSED 5. STRUCTURES TO BE TO THE STRUCTURAL ENGINEERS SPECIFICATIONS. REFER TO STRUCTURAL ENGINEERS DETAILS FOR
- SAFE BEARING CAPACITY REQUIREMENTS. 8. GEOTECHNICAL INSPECTIONS AND TEST CERTIFICATES: THE CONTRACTOR'S NATA CERTIFIED GEOTECHNICAL INSPECTION AND TESTING AUTHORITY (GITA) IS TO PROVIDE A DETAILED REPORT SETTING OUT THE INSPECTIONS, SAMPLING AND TESTING THAT HAS BEEN CARRIED OUT, AND THE LOCATIONS AND RESULTS THEREOF. THE GITA'S REPORT MUST CONTAIN 7 A STATEMENT OF COMPLIANCE THAT THE WORKS COMPLY WITH THE SPECIFICATION AND DRAWINGS AS SPECIFIED IN SECTION 8 OF AS 3798. WHERE THE GITA IS APPOINTED BY THE PRINCIPAL, THE CONTRACTOR SHALL BE RESPONSIBLE FOR 8. DEPTHS TO PIPE INVERTS SHOWN ON JOB DRAWINGS SHALL BE INCREASED TO ALLOW FOR BEDDING. PIPE BEDDING COORDINATING THE WORKS WITH THE GITA TEST CERTIFICATES ON THE FILL MATERIAL SHALL BE SUPPLIED TO THE SUPERINTENDENT FOR REVIEW PRIOR TO THE USE OF THE FILL MATERIAL
- EARTHWORKS VOLUMES: ALL VOLUMES PROVIDED EXCLUDE ANY COMPACTION OR BULKING FACTORS. ALL VOLUMES PROVIDED EXCLUDE LANDSCAPE TOPSOIL REQUIREMENTS, DETAILED EXCAVATION, FOOTING AND TRENCHING REQUIREMENTS. ALL VOLUMES PROVIDED ARE INDICATIVE ONLY AND THE CONTRACTOR IS TO MAKE ALL NECESSARY ALLOWANCES TO COMPLETE THE WORKS

ROADWORKS NOTES

FROM THE SUPERINTENDENT PRIOR TO CONSTRUCTION.

- . LEVELS AND GRADIENTS AT JUNCTIONS WITH EXISTING ROADWORKS MAY BE VARIED AS REQUIRED TO THE SUPERINTENDENT'S SATISFACTION AND THE COSTS DEEMED INCLUDED IN THE RELEVANT SCHEDULE ITEMS. SUBSOIL DRAINS TO BE PROVIDED UNDER ALL KERB AND CHANNEL AND KERB.
- ROADS AND STRUCTURAL FORMATIONS INCLUDING EMBANKMENTS, FOOTPATHS, PAVED AREAS, AND SHOULDERS ARE TO 1. THE SITE HAS BEEN DETERMINED TO NOT CONTAIN CONTAMINATED FILL. HOWEVER, THE CONTRACTOR IS TO ALLOW A BE COMPACTED TO 100% STANDARD DRY DENSITY LESS THAN 0.3m BELOW SUBGRADE AND 98% STANDARD DRY DENSITY MORE THAN 0.3m BELOW SUBGRADE TO AS1289 5.1.1. AND LOCAL GOVERNMENT AUTHORITY SPECIFICATIONS.
- ELECTRICAL AND COMMUNICATIONS CONDUIT LOCATIONS ARE SHOWN FOR INFORMATION ONLY. FOR EXACT LOCATIONS AS CONSTRUCTED NOTES: REFER TO ELECTRICAL CONSULTANT'S LAYOUT PLANS. FOR IRRIGATION WATER CONDUIT LOCATIONS REFER WATER RETICULATION DRAWINGS
- MINIMUM COVER TO ROOFWATER PIPES TO BE 100mm EXCEPT WHERE LESS COVER IS NECESSARY TO DISCHARGE TO STREET KERB AND CHANNEL CONTRACTOR SHALL APPLY FOR AND RECEIVE APPROVAL FROM THE LOCAL GOVERNMENT AUTHORITY FOR THE PROPOSED
- FOOTPATH AND CROSSOVER WORKS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO ARRANGE INSPECTION OF PROPOSED CROSSOVERS AND FOOTPATHS WITH COUNCIL IN ACCORDANCE WITH DEVELOPMENT APPROVAL AND OPERATIONAL WORKS APPROVAL. 8. CONTRACTOR TO CONFIRM CROSSOVER AND ADJACENT PAVEMENT LEVELS AND GRADES PRIOR TO THE START OF CONSTRUCTION. IF IN DOUBT OR FURTHER CLARIFICATION IS REQUIRED, THE CONTRACTOR IS TO OBTAIN CLARIFICATION

ROADWORKS NOTES (CONT)

- 1. CONTRACTORS TENDERING ON THIS PROJECT ARE TO MAKE THEMSELVES FULLY AWARE OF ALL REQUIREMENTS TO 1. THE CONTRACTOR SHALL INDEMNIFY AND KEEP INDEMNIFIED, THE CONTRACTOR IS TO ENGAGE A NATA CERTIFIED GEOTECHNICAL TESTING AUTHORITY TO PERFORM SOIL SAMPLING UP 1. CONTRACTOR SHALL INDEMNIFY AND KEEP INDEMNIFIED, THE CONTRACTOR IS TO ENGAGE A NATA CERTIFIED GEOTECHNICAL TESTING AUTHORITY TO PERFORM SOIL SAMPLING UP 1. TO A DEPTH OF 500mm BELOW THE PROPOSED SUBGRADE LEVELS IN ACCORDANCE WITH THE LOCAL GOVERNMENT REQUIREMENTS, AT THE LOCATIONS SHOWN AND PROVIDE A WRITTEN REPORT WHICH INCLUDES:
 - a. A DESCRIPTIVE LOG OF THE SOIL TYPES b. LABORATORY TEST RESULTS FOR EACH SOIL SAMPLE - ATTERBERG LIMITS, LINEAR SHRINKAGE, PARTICLE ANALYSIS AND SOAKED CBR AND CBR SWELL
 - GITA TO ENSURE THE SOIL SAMPLE IS SUFFICIENT FOR LIME DEMAND TESTING AND SOLUBLE SULPHATE TESTING (PROVISIONAL IF REQUIRED). THE CONTRACTOR WILL BE ADVISED IF THE TESTING FOR LIME STABILISATION OF THE SUBGRADE IS REQUIRED ONCE THE INITIAL TESTING ABOVE IS COMPLETED AND SUPPLIED TO THE SUPERINTENDENT. 1. THE CONTRACTOR IS TO PROVIDE CBR TEST RESULTS A MINIMUM OF TWO WEEKS PRIOR TO ROAD CONSTRUCTION TO

CONFIRM ROAD SUBGRADE LEVELS AND PAVEMENT DESIGN. TESTS TO BE TAKEN AT A MINIMUM OF 50m CENTRES OR TO

10. PROVIDE KERB RAMP AT ALL PEDESTRIAN CROSSINGS AND WALKWAYS TO LOCAL GOVERNMENT AUTHORITY STANDARDS.

STORMWATER DRAINAGE NOTES

- OTHERWISE. ALL STORMWATER PIPES BELOW RL2.50 (AHD) TO BE SUITABLE FOR SALT WATER. THIS MAY REQUIRE OFF MAINTENANCE ADDITIONAL COVER AND/ OR A HIGHER CLASS OF PIPE. U.N.O.
- 3. ALL STORMWATER PIPES 675ϕ OR GREATER SHALL BE FLUSH JOINTED U.N.O. 4. ALL STORMWATER PIPES 600¢ OR SMALLER SHALL BE RUBBER RING JOINTED U.N.O.
- 5. FRC PIPES SHALL NOT BE USED.
- 6. ALL STORMWATER BEDDING SHALL BE TYPE 'H2' U.N.O.
- 7. THE CONTRACTOR IS TO ENSURE THE METHOD OF COMPACTION OF THE BACKFILL IS SUITABLE FOR THE CLASS OF PIPE INDICATED
- ON THE DRAWINGS. IF NECESSARY, THE CONTRACTOR IS TO ADJUST THEIR COMPACTION METHODS TO SUIT THE PIPE CLASS.
- CONSTRUCTION LOADS
- 10. BITUTHENE TAPE TO BE USED ON BOX CULVERT JOINTS.
- QUEENSLAND FIRE AND RESCUE AUTHORITY AND QUEENSLAND AMBULANCE SERVICE SHOULD BE OBTAINED BY THE 12. INVERT LEVELS SHOWN ON PLAN ARE AT PIPE / STRUCTURE JUNCTION. 13. PIPE LENGTHS SHOWN ON PLAN / LONG SECTION ARE TO CENTRE OF STRUCTURE.
 - a. PIPES IN ROADWAYS 600mm COVER U.N.O
 - b. PIPES IN LANDSCAPE AREAS 450mm COVER U.N.O.
 - c. CONTRACTOR TO MAINTAIN MINIMUM COVER ON SITE DURING TO CONSTRUCTION 15. ALL STORMWATER MANHOLES SHALL IN ACCORDANCE WITH LOCAL GOVERNMENT AUTHORITY STANDARD DRAWINGS
 - 16. ALL STORMWATER STRUCTURES SUBJECT TO VEHICLE LOADS ARE TO HAVE A HEAVY DUTY TRAFFICABLE (CLASS D) LID U.N.O. 17. ALL STORMWATER GULLY PITS SHALL BE IN ACCORDANCE WITH LOCAL GOVERNMENT AUTHORITY STANDARD DRAWINGS. 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING GULLY PITS IN RELATION TO THE NOMINAL FACE OF KERB AND
 - KERB AND CHANNEL 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING STRUCTURES ENTIRELY WITHIN THE PROPERTY BOUNDARIES. 20. THE CONTRACTOR SHALL VERIFY THE INVERT LEVEL AT THE CONNECTION WITH EXISTING STORMWATER PIPES PRIOR TO
 - LAYING PIPES AND ADVISE THE SUPERINTENDENT OF ANY DISCREPANCY. 21. ALL TRENCHES SHALL BE BACK FILLED UNDER THE ROAD AS DETAILED IN THE BACKFILLING OF TRENCHES NOTES.
 - 22. TRENCH BACKFILL TESTING SHALL BE CARRIED OUT ON EACH ALTERNATE COMPACTED LAYER AT A MAXIMUM 50m CENTRES AND NO MORE THAN 3m FROM MANHOLE STRUCTURE.
 - 23. WHERE THE TRENCH FOUNDATION IS CONSIDERED UNSUITABLE IN THE OPINION OF THE SUPERINTENDENT, A LAYER OF CRUSHED ROCK, 40mm TO 20mm SIZE OR OTHER MATERIALS APPROVED BY THE SUPERINTENDENT SHALL BE LAID IN A 500mm THICK LAYER BELOW THE CULVERT BASE OR PIPE. THE CRUSHED ROCK SHOULD BE SEPARATED FROM THE BEDDING MATERIAL BY A LAYER OF GEOFABRIC (A34 BIDUM OR SIMILAR). THESE AREAS ARE TO BE INSPECTED TO ASSESS WHETHER FURTHER EXCAVATION IS REQUIRED OR OTHER MEASURES CAN BE ADOPTED.
 - 24. CONTRACTOR TO PROVIDE CONCRETE BALLAST TO ALL STORMWATER STRUCTURES (TANKS, PUMP WELLS, MANHOLES ETC.) TO SUIT BOUYANCY OF SITE GROUND CONDITIONS.
 - 25. PRIOR TO WORKS BEING ACCEPTED ON MAINTENANCE THE CONTRACTOR SHALL PROVIDE A CCTV INSPECTION AND DETAILED REPORT TO THE SUPERINTENDENT CONFIRMING THE STORMWATER HAS BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATION. ANY DEFECTS IDENTIFIED IN THE CCTV INSPECTION SHALL BE RECTIFIED BY THE CONTRACTOR AT THEIR COST, PRIOR TO ACCEPTANCE OF THE WORKS ON MAINTENANCE.
 - 26. CONTRACTOR TO PROVIDE 1000 SLOTTED SUB SOIL DRAINAGE C/W GEOFABRIC SOCK AND GRANULAR BACKFILL ADJACENT TO ALL KERBS AND BUILDING EDGES TO AS2439 AND CONNECT TO STORMWATER STRUCTURE. PROVIDE 1000 HD uPVC UNDER PAVEMENT TO CONNECT SUBSOIL TO STORMWATER STRUCTURE. MINIMUM GRADE TO BE 1:200. CONTRACTOR TO PROVIDE SERVICES AND CONDUITS BEHIND RETAINING WALLS PRIOR TO BACKFILLING.
 - 28. ALL STRUCTURES WITHIN OR ADJACENT TO FOOTPATHS, PEDESTRIAN AREAS, BUILDINGS, PLAY AREAS OR ASSEMBLY AREAS ARE TO BE HEEL PROOF, NON-SLIP AND BOLT DOWN. 29. REFER TO IPWEAQ STANDARD DRAWING DS-078 FOR BIORETENTION NOTES AND SPECIFICATION.
 - 30. STORMWATER TREATMENT AND DETENTION TANKS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS. IF NO SPECIFICATIONS ARE PROVIDED THEN INSTALL DETENTION AND TREATMENT TANKS TO THE BELOW SPECIFICATIONS:
 - a. FOUNDED IN STABLE NATURAL GROUND WITH A SAFE BEARING CAPACITY OF AT LEAST 150kPa (MINIMUM).
 - b. PROVIDE A MINIMUM OF 150mm THICK SUBBASE LAYER OF CBR15 ROADBASE (MINIMUM). c. THE BASE OF TANKS IS TO BE WHOLLY FOUNDED ON EITHER CUT OR FILL (NOT A CUT/FILL PLATFORM).
 - d. BASE OF DETENTION TANKS TO HAVE A MINIMUM 1:200 FALL (1:100 PREFERRED), BASE OF TREATMENT TANKS TO BE LEVEL. BACKFILLING AROUND AND ADJACENT TO THE WALLS SHALL BE WITH APPROVED SELECTED MATERIAL. THE MATERIAL SHALL BE COMPACTED IN LAYERS AS PER THE EARTHWORKS NOTES.

EXCAVATION AND BACKFILLING OF TRENCHES, SHORING AND LIABILITY FOR DAMAGE:

- 1. THE CONTRACTOR SHALL SUPPLY AND DISPLAY ON SITE OF WORKS, ALL APPROPRIATE NOTIFICATION SIGNS AND SAFETY MARKING APPLICABLE FOR A CONSTRUCTION SITE IN ACCORDANCE WITH ALL REQUIRED REGULATORY GUIDELINES AND LEGISLATION 2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL TRENCH EXCAVATION IS CARRIED OUT IN
- ACCORDANCE WITH THE MINES REGULATION ACTS, THE WORKPLACE HEALTH AND SAFETY ACT 2011. 3. DURING THE EXCAVATION, ET CETERA AND CONSTRUCTION OF THE WORKS OF THE CONTRACT, THE CONTRACTOR IS TO ADOPT EVERY PRECAUTION AND PROVIDE ALL MATERIALS, LABOUR, ET CETERA AND CAREFULLY EXECUTE AT HIS OWN COST WHENEVER CONSIDERED NECESSARY BY THE SUPERINTENDENT AND TO HIS ENTIRE SATISFACTION STRONG SHORING AND IN SANDY OR LOOSE SOIL, CLOSE TIMBERING AND OTHER WORK THAT MAYBE REQUIRED TO PREVENT EARTH OR OTHER
- MATERIALS AT SIDES OF EXCAVATION FROM BEING SHAKEN, SLIPPING OR FALLING IN. 4. THE CONTRACTOR SHALL ENSURE THAT ALL TRENCHES OVER 1.5m IN DEPTH ARE SHORED IN ACCORDANCE WITH THE REQUIREMENTS OF THE WORKPLACE HEALTH AND SAFETY ACT 2011. WHERE APPROVED BY OFFICERS OF THE DIVISION OF OCCUPATIONAL SAFETY, TRENCHES MAY BE BATTERED BACK, THE ABSOLUTE MAXIMUM SLOPE OF THE BATTER IS TO BE FORTY-FIVE (45) DEGREES FROM THE HORIZONTAL FROM A POINT 1.5m MAXIMUM ABOVE THE BOTTOM OF THE TRENCH. THE
- ACTUAL MAXIMUM BATTER SLOPE IS TO BE DETERMINED AFTER INSPECTION OF THE STABILITY OF THE TRENCH. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE SHOULD AN ACCIDENT OCCUR OR DAMAGE TO PROPERTY RESULT FROM THE CONTRACTORS WORK AND SHALL RESTORE SAME AT HIS OWN COST THE CONTRACTOR SHALL ENSURE THAT ALL TRENCHES IN UNSUITABLE MATERIAL ARE SHORED OR SHIELDS ARE USED DURING PIPE LAYING OPERATIONS. AT ALL TIMES WHEN TRENCHES AND EXCAVATIONS ARE OPEN AND THE CONTRACTOR
- AND HIS EMPLOYEES ARE NOT IN ATTENDANCE THE TRENCHES SHALL BE BARRICADED. THIS SHALL APPLY PARTICULARLY TO MANHOLES AND CHAMBERS PRIOR TO AND DURING CONSTRUCTION. TRENCH WIDTHS SHALL CONFORM TO INSTITUTE OF PUBLIC WORKS ENGINEERING AUSTRALIA QUEENSLAND DIVISION INC. STANDARD DRAWINGS AND BE OF WIDTH TO SUIT NUMBER OF SERVICES.
- REQUIREMENTS VARY WITH STRATA AND MUST COMPLY WITH THE REQUIREMENTS OF THE RELEVANT STANDARD PLANS AND SPECIFICATION. 9. STORMWATER DRAINAGE PIPES ARE TO BE BACKFILLED IN ACCORDANCE WITH INSTITUTE OF PUBLIC WORKS ENGINEERING AUSTRALASIA STANDARD DRAWINGS DS-030 IN PARTICULAR WITH RELATION TO THE DEPTH OF SAND BEDDING,

DEWATERING:

1. THE CONTRACTOR IS TO ALLOW A PROVISIONAL SUM FOR PREPARING AND UNDERTAKING A DEWATERING MANAGEMENT STRATEGY FOR WORKS THAT ENCOUNTER GROUNDWATER.

CONTAMINATED FILL:

EMBEDMENT ZONE AND COMPACTION OF BACKFILL

PROVISIONAL SUM FOR THE PREPARATION AND UNDERTAKING OF A CONTAMINATED FILL MANAGEMENT PLAN.

- THE CONTRACTOR SHALL ARRANGE FOR AN INDEPENDENT LICENSED SURVEYOR TO CARRY OUT 'WORKS AS CONSTRUCTED' SURVEY AND SUBMIT DETAILS SHOWN ON A DRAWING TO THE SUPERINTENDENT AT COMPLETION OF CONSTRUCTION.
- 2. 'WORKS AS CONSTRUCTED' SURVEY IS TO INCLUDE BUT NOT BE LIMITED TO: a. LEVEL AND LOCATION OF RETAINING WALLS, FEATURES, EARTHWORKS AND FINISHED SURFACE LEVELS b. LEVEL AND LOCATION OF NEW KERB, KERB AND CHANNEL, CONCRETE INVERT AND KERB RAMP . LEVEL AND LOCATION OF ALL DRAINAGE STRUCTURES, PIPE SIZES AND INVERT LEVELS FOR STORMWATER DRAINAGE
- d. LEVEL AND LOCATION OF ALL SEWER MAINTENANCE HOLES, SEWER PIPE SIZES, INVERT LEVELS AND HOUSE CONNECTION LOCATIONS AND INVERT LEVELS FOR ALL SEWER RETICULATION e. LOCATION OF ALL WATER MAINS, PIPE SIZES, HYDRANTS, SLUICE VALVES, TEES, AND METERS FOR WATER RETICULATION
- q. ANY DETAILS REQUIRED BY THE DEVELOPMENT APPROVAL 3. AS CONSTRUCTED SURVEY IS TO BE PROVIDED IN .DWG, .PDF AND ADAC FORMATS BY THE CONTRACTOR TO THE

f. ANY DETAILS RELATED TO FINAL ROAD TRUNCATION, ROAD WORKS, AND SERVICES

MAINTENANCE NOTES:

- OFFICERS (IF REQUIRED). SUCH MAINTENANCE SHALL BE CARRIED OUT IN ACCORDANCE WITH THE PROVISIONS OF THE GENERAL CONDITIONS OF CONTRACT WITH RESPECT TO MAKING GOOD DEFECTS AND OTHER FAULTS DUE TO FAULTY REPAIR AND/OR WORKMANSHIP AND SHALL INCLUDE CLEANING UP AND REPAIR DUE TO STORM DAMAGE
- THE DEFECTS LIABILITY PERIOD SHALL BE 12 MONTHS FROM THE DATE OF PRACTICAL COMPLETION OR DATE WORKS ARE ACCEPTED ON MAINTENANCE IN WRITING BY THE LOCAL COUNCIL, WHICHEVER OCCURS LAST 4. CONTRACTOR IS TO REQUEST AND ATTEND OFF-MAINTENANCE INSPECTION WITH THE SUPERINTENDENT AND LOCAL COUNCIL OFFICERS AFTER TWELVE MONTH DEFECTS LIABILITY PERIOD. THE WORKS WILL BE ACCEPTED OFF MAINTENANCE ONCE THE LOCAL COUNCIL ISSUES THE OFF-MAINTENANCE CERTIFICATE.

REQUIRED HOLD POINT INSPECTIONS:

- CONTRACTOR IS REQUIRED TO COMPLETE ALL HOLD POINT INSPECTIONS. FAILURE TO DO SO WILL RESULT IN NON-ISSUANCE OF FORM 12. REQUIRED HOLD POINT INSPECTIONS LISTED BELOW:
- PRE-START MEETING
- CONCRETE REINFORCEMENT INSPECTION
- STORMWATER PIPES PRIOR TO BACKFILL INSPECTION PRE-BACKFILL OF TRENCHES INSPECTION

AUTHORISE

AMENDMENTS

SUE DATE SUBJECT



Energy and Public Works

On behalf of: Department of Housing

Department of





DISCIPLINE TEAM LEADER

TRANCHE 1

DRAINAGE

www.stpconsultants.com.au STP Project No.: STP24-0929: 93485 01.07.2025

01.07.2025

RPEQ: 13231 01.07.2025 UTHORISED FOR ISSU DATE

GARDEN STREET, COOKTOWN

INTER-ALLOTMENT

PROJECT NOTES

93485/SITE/DD/C00.02

- SHEET

A1 SIZE LIENT REFERENCE NUMBER

FOR INFORMATION ONLY

CONCRETE NOTES:

- 1. BUILDER TO ENSURE CONCRETE MATERIAL AND QUALITY BY THE CONCRETE SUPPLIER TO BE IN ACCORDANCE WITH 14. REINFORCEMENT IS SHOWN DIAGRAMMATICALLY AND NOT IN TRUE PROJECTION.
- 2. ALL CONCRETE WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE FOLLOWING CODES, UNLESS SPECIFICALLY VARIED MEMBERS WITHOUT PRIOR APPROVAL OF THE SUPERINTENDENT
- THE CONTRACT DOCUMENTS.
- AS2870 RESIDENTIAL SLABS AND FOOTINGS (IF APPLICABLE).
- AS3600 CONCRETE STRUCTURES.
- AS3610 FORMWORK FOR CONCRETE.
- AS/NZS 4671 STEEL REINFORCING MATERIALS. 3. PROVIDE THE ENGINEER WITH AT LEAST 48 HOURS NOTICE OF REINFORCEMENT BEING READY FOR INSPECTION. NO CONCRETE
- IS TO BE POURED WITHOUT INSPECTION. 4. THE CHARACTERISTIC COMPRESSIVE STRENGTH OF CONCRETE TEST CYLINDERS (f'c) SHALL BE AS FOLLOWS:

fʻc AT 28 DAYS (MPa)	SLUMP (mm)	MAXIMUM AGGREGATE SIZE (mm)
N25	80	20
N32	80	20

5. NO ADDITIVES SHALL BE ADDED OR APPLIED TO THE CONCRETE MIX WITHOUT THE APPROVAL OF THE ENGINEER. 6. THE MAXIMUM PERMISSIBLE TRANSPORT TIME FOR CONCRETE BETWEEN BATCHING AND PLACEMENT ON SITE SHALL BE IN ACCORDANCE WITH THE FOLLOWING TABLE:

AMBIENT AIR TEMPERATURE	MAXIMUM BATCHING TO PLACEMENT TIME
10 - 24 DEGREES	120 MINUTES
25 – 27 DEGREES	90 MINUTES
28 - 30 DEGREES	60 MINUTES
31 – 33 DEGREES	45 MINUTES
34 - 36 DEGREES	30 MINUTES
37+ DEGREES	NO PLACEMENT OF CONCRETE UNLESS CHILLED WATER OR IN ICE MIX

7. THE EXPOSURE CLASSIFICATION FOR INDIVIDUAL CONCRETE ELEMENTS IS AS FOLLOWS:

LOCATION	EXPOSURE CLASSIFICATION
FOOTINGS	A2
INTERNAL CONCRETE SURFACES	A1
EXTERNAL CONCRETE SURFACES	B1

8 CURING REQUIREMENTS:

I MINIMIM +'c (MDa) I		MINIMUM INITIAL CONTINUAL CURING DURATION (SEE AS3600 CL 17.15.1)
Α1	20	3 DAYS
A2	25	3 DAYS
B1	32	7 DAYS
B2	40	7 DAYS
C1 & C2	50	7 DAYS

9. CURING SHALL BE EFFECTED BY USE OF AN APPROVED CURING COMPOUND WHICH SHALL BE APPLIED TO ALL CONCRETE SURFACES WHERE VISIBLE IMMEDIATELY ONCE CONCRETE IS HARD AND TO ALL FORMED SURFACES IMMEDIATELY AFTER FORMS ARE REMOVED, EXCEPT WHERE AN APPLIED FINISH IS TO BE USED. THE CURING COMPOUND SHALL THEN BE TAKEN OUT BY MAINTAINING THE SURFACE IN A MOIST CONDITION. OTHER CURING METHODS SHALL BE APPROVED IN WRITING BY THE ENGINEER PRIOR TO USE.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEASURING AND RECORDING THE AIR TEMPERATURE, RELATIVE HUMIDITY, 26. ALL STARTER BARS TO REINFORCED CONCRETE WALLS, COLUMNS AND ALL MASONRY WALLS AND PIERS ARE TO BE TIED CONCRETE TEMPERATURE AND WIND VELOCITY (MEASURED 1m ABOVE THE AS PLACED CONCRETE) AT THE TIME OF CONCRETE PLACEMENT AND CONTINUE UNTIL CURING HAS COMMENCED. THIS INFORMATION SHALL BE USED IN CONJUNCTION 27. NO CONSTRUCTION OR EXPANSION JOINTS ARE PERMITTED UNLESS SHOWN ON DRAWINGS. WITH FIGURE 1 TO DETERMINE THE RATE OF EVAPORATION OF WATER FROM THE FRESHLY PLACED CONCRETE AND 28 CONCRETE TESTING RESULTS TO BE PROVIDED AT 1 TEST PER 50m3 WITH A MINIMUM OF 1 TEST PER DAY. UNPROTECTED SURFACE OF THE CONCRETE. THE RATE OF EVAPORATION SHALL BE MONITORED BY THE CONTRACTOR UNTIL

29. ALL TRAFFICABLE CONCRETE SLABS SHALL BE BROOM FINISHED PERPENDICULAR TO TRAFFIC FLOW. FOR SLABS WITH SUCH TIME AS CURING COMMENCES. WHEN THE VALUE OF THE RATE OF EVAPORATION AS DETERMINED FROM FIGURE 1 FALLS OF GREATER THAN 1 IN 10 (10%) USE HEAVY DUTY BROOM FINISH. EXCEED 0.5kg/m2 PER HOUR, THE CONTRACTOR SHALL TAKE PRECAUTIONS TO MINIMISE EVAPORATION MOISTURE LOSSES 30. WHERE SERVICE PIPES PENETRATE CONCRETE ELEMENTS, PROVISION SHOULD BE MADE TO ALLOW FOR MOVEMENT OF SUCH AS THE APPLICATION OF ALIPHATIC ALCOHOL BASED EVAPORATIVE RETARDING COMPOUND. PLASTIC SHRINKAGE OR THE ELEMENT. DRYING CRACKING IS LIKELY TO OCCUR WHEN SITE CONDITIONS GIVE AN EVAPORATION RATE OF 1kg/m2 PER HOUR. THEREFORE, PRECAUTIONS ARE RECOMMENDED WHEN THE EVAPORATION RATE IS LIKELY TO EXCEED 0.5kg/m2 PER HOUR.

MASONRY NOTES: THE APPLICATION OF ALIPHATIC ALCOHOL, WHEN REQUIRED, IS TO BE APPLIED IMMEDIATELY AFTER THE INITIAL SCREENING 1. ALL MASONRY AND WORKMANSHIP SHALL COMPLY WITH THE REQUIREMENTS OF AS3700 - MASONRY AND THE AND WHILE THERE IS BLEED WATER STILL PRESENT ON THE SURFACE. REPEATED APPLICATIONS MAY BE NECESSARY. THE

REFERENCED STANDARDS THEREIN. APPLICATION OF THE ALIPHATIC ALCOHOL SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE MANUFACTURER'S 2. MINIMUM DURABILITY REQUIREMENTS: INSTRUCTIONS. DETAILS OF THE PRODUCT AND ITS APPLICATION PROCEDURE SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW NOT LESS THAN 4 WEEKS PRIOR TO THE COMMENCEMENT OF PLACEMENT. THE CONCRETE SHALL NOT BE PLACED IN

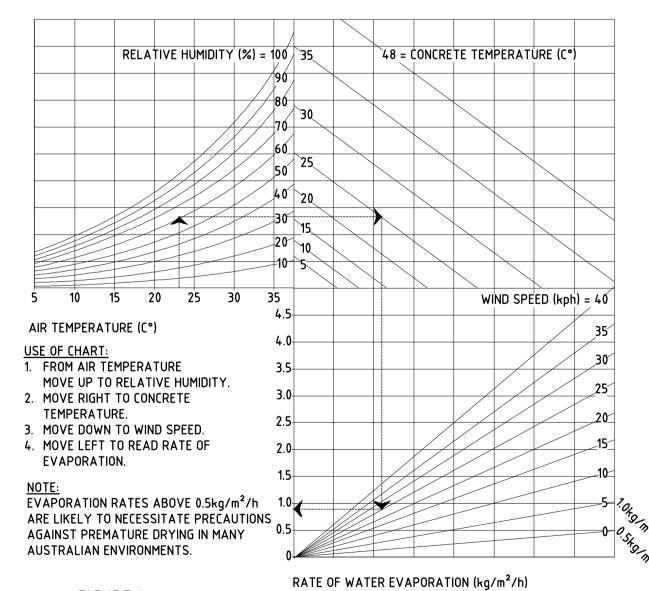


FIGURE 1: EFFECT OF AMBIENT CONDITIONS ON RATE OF EVAPORATION ACI 3052

- 12. ALL CONCRETE SHALL BE VIBRATED IN ACCORDANCE WITH AS3600.
- 13. SIZES SHOWN ARE STRUCTURAL SIZES AND DO NOT INCLUDE APPLIED FINISHES.
- 15. NO CHASES OR HOLES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS WILL BE PERMITTED IN CONCRETE
- 16. FORMWORK FINISHES AND FINISH CLASS AS PER THE ARCHITECT'S SPECIFICATION.
- 17. WELDING OF REINFORCEMENT WILL NOT BE PERMITTED WITHOUT APPROVAL FROM SUPERINTENDENT.
- 18. ALL CONCRETE SHALL BE MECHANICALLY VIBRATED. VIBRATORS SHALL NOT BE USED TO SPREAD CONCRETE. 19. STRIPPING OF FORMWORK SHALL BE AS PER THE FOLLOWING:

E	FORMED SURFACE	CLASSIFICATION	HOT CONDITIONS >20°C	AVERAGE CONDITIONS <=20°C > 12°C	COLD CONDITIONS <=12°C >=5°C
	VERTICAL FACES	CLASSES 1, 2, 3 CLASSES 4,5	1 DAY 9 HOURS	2 DAYS 12 HOURS	3 DAYS 18 HOURS
	VERTICAL FACES	A MINIM	1UM OF ONE DAY APPLIES FACES WHERE FROS	TO THE STRIPPING OF VE T DAMAGE IS LIKELY	RTICAL
IN	BEAM AND SLAB	FORMS SUPPORTING MEMBERS	4 DAYS	6 DAYS	8 DAYS
1	SOFFITS	(SHORES OR BACKPROPS)	12 DAYS	18 DAYS	24 DAYS

20. STRIPPING OF FORMWORK AND REPROPPING OF SUSPENDED SLABS AND BEAMS SHALL BE CARRIED OUT PROGRESSIVELY SO THAT AT NO STAGE IS THE SLAB OR BEAM UNSUPPORTED UNTIL IT IS PERMITTED TO FULLY REMOVE ALL PROPPING. 21. IN MULTISTORY CONSTRUCTION, PROPS SHALL BE LOCATED IN THE SAME POSITION ON EACH FLOOR SO THAT THEY WILL BE

CONTINUOUS IN THEIR SUPPORT FROM FLOOR TO FLOOR. WHERE THE NUMBER OF PROPS ON A FLOOR IS REDUCED, THE REMAINING PROPS SHALL BE LOCATED DIRECTLY UNDER PROPS ON THE FLOOR ABOVE.

22. SPLICES IN REINFORCEMENT TO BE MADE IN PLACES SHOWN OR APPROVED IN ALL CASES. GENERALLY, AT THE MIDSPAN FOR TOP STEEL AND NEAR SUPPORTS FOR BOTTOM STEEL. IN ALL CASES THE LAP LENGTH SHALL BE AS PER NOTE 25. 23. SL72, RL918 etc INDICATES REINFORCING FABRIC CONFORMING TO AS/NZS 4671. LAP LENGTHS SHALL BE:

FABRIC	END LAP (mm)	SIDE LAP (mm)
RL718, RL918	425	125
SL62, SL72, SL81, SL82, SL92, SL102	425	225
L8, L11, & L12 TRENCH MESH	350	1

24. TOP STEEL HAS MAIN BARS OR WIRES ON TOP. BOTTOM STEEL HAS MAIN BARS OR WIRES ON BOTTOM. 25. UNLESS NOTED OTHERWISE BAR LAPS SHALL BE:

BAR DIAMETER (mm)	TENSION LAP (mm)	TENSION ANCHORAGE (mm)
12	600	500
16	900	800
20	1200	1000
24	1600	1300
28	2000	1600
32	2400	1900
36	2800	2300
40	NA	NA

LAPPED SPLICING NOT PERMITTED FOR N40 BARS. SPLICES SHALL BE ACHIEVED BY USE OF MECHANICAL COUPLERS.

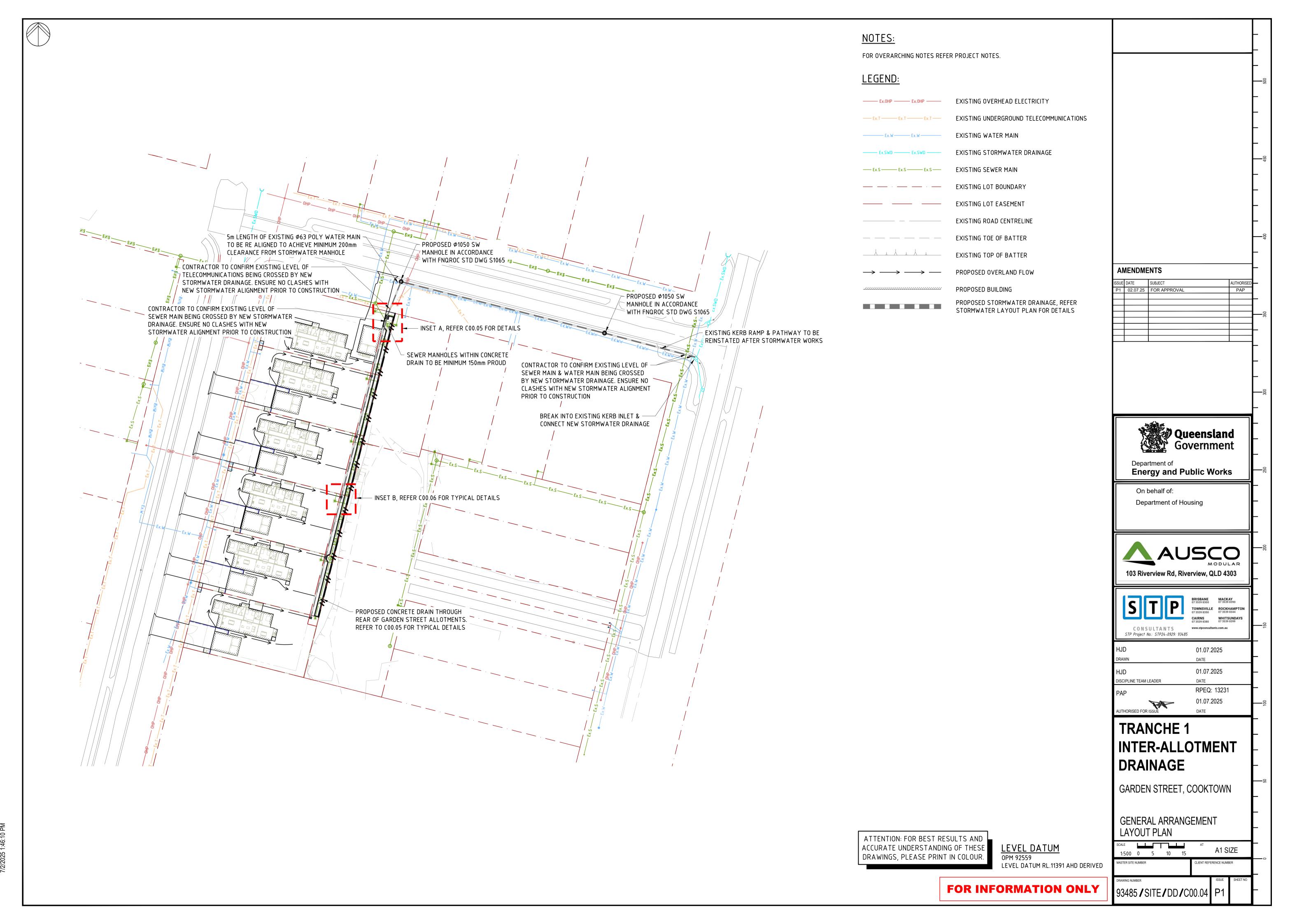
INTO THE FOOTING REINFORCEMENT.

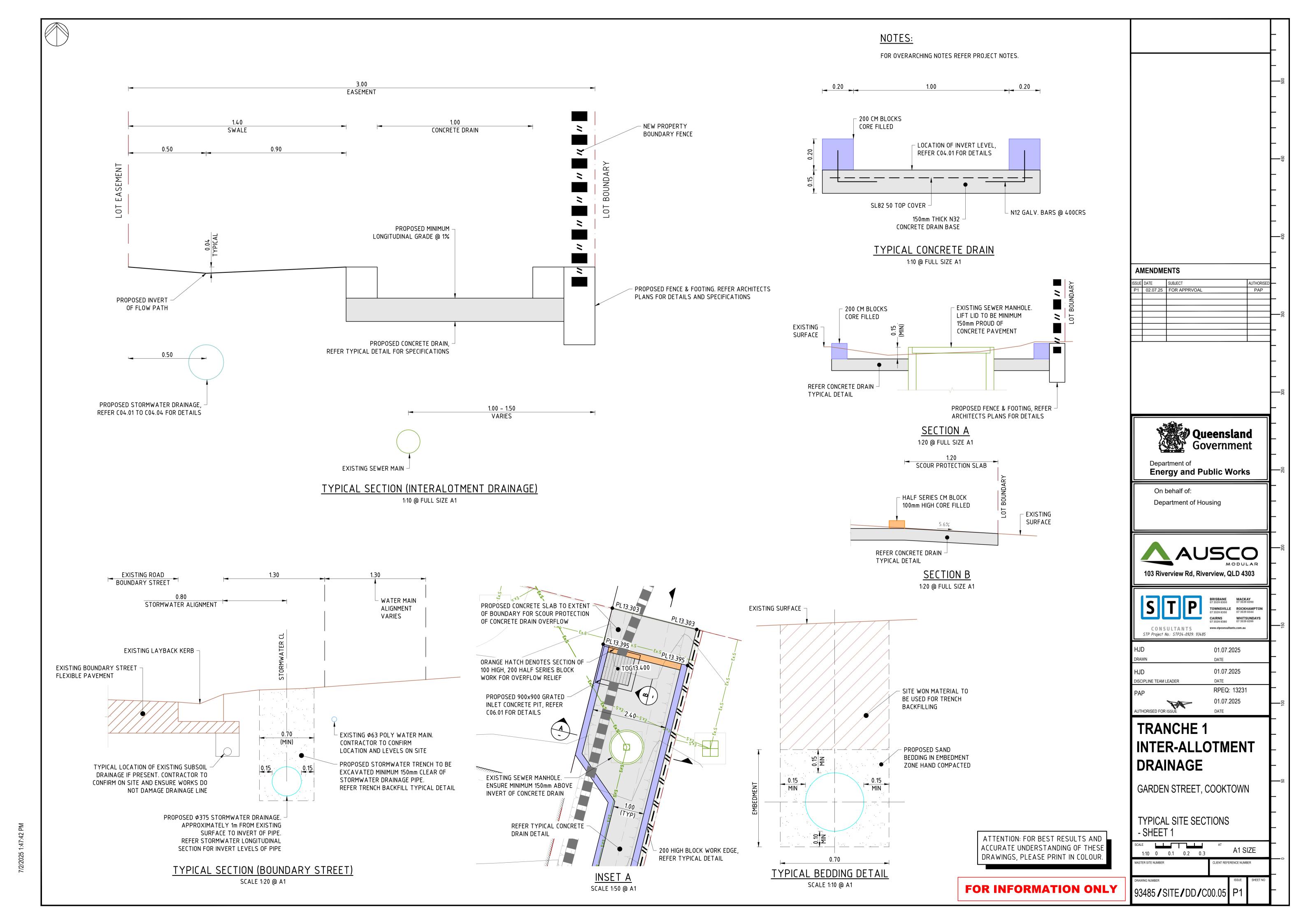
LOCATION	SALT ATTACHED RESISTANCE GRADE OF MASONRY UNITS	MORTAR CLASS	DURABILITY CLASS OF WALL TIES AND BUILT IN COMPONENTS
INTERIOR MASONRY	GENERAL PURPOSE	М3	R3
EXTERIOR MASONRY – GREATER THAN 1km FROM SALT WATER	GENERAL PURPOSE	М3	R3
EXTERIOR MASONRY - UP TO 1km FROM SALT WATER	GENERAL PURPOSE	M4	R4

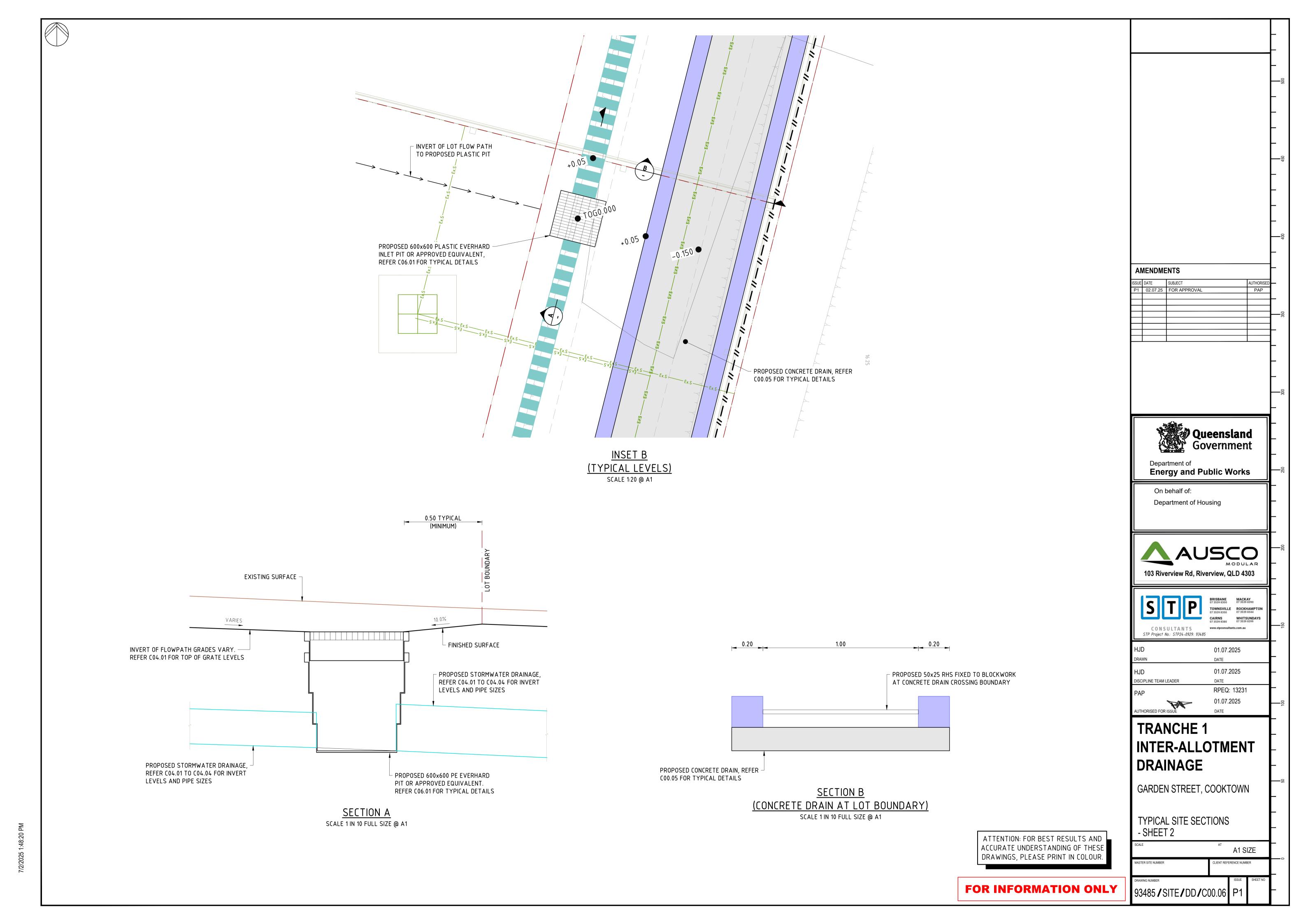
- 3. ALL MASONRY INDICATED ON THE DRAWINGS SHALL HAVE AN UNCONFINED COMPRESSIVE STRENGTH (f' c) AS PER BELOW
 - -HOLLOW CONCRETE MASONRY: 15 MPa
- 4. MORTAR SHALL BE CLASS M3 OR M4 IN ACCORDANCE WITH NOTE 2 ABOVE. REFER TO AS3700 FOR COMPLYING MIX PROPORTIONS. SAND SHALL BE CLEAN WELL GRADED AND FREE OF SILT AND CLAY. NO 'BRICKIES LOAM' ALLOWED.
- 5. GROUT USED IN REINFORCED MASONRY SHALL BE S20, 230mm SLUMP AND 10mm MAXIMUM AGGREGATE SIZE UNLESS NOTED OTHERWISE. CEMENT CONTENT SHALL NOT BE LESS THAN 300kg/m.
- 6. ADDITIVES SHALL NOT BE ADDED TO THE GROUT OR MORTAR WITHOUT THE SPECIFIC PERMISSION OF THE SUPERINTENDENT.
- 7. FACE BED HOLLOW UNITS AND FULLY FILL VERTICAL JOINTS. NO RAKING OF MORTAR JOINTS IS PERMITTED. 8. GROUTING SHALL NOT COMMENCE UNTIL THE MORTAR JOINTS HAVE GAINED SUFFICIENT STRENGTH TO RESIST BLOWOUT
- AND CORES HAVE BEEN CLEANED OUT.
- 9. ALL CORES SHALL BE FILLED WITH GROUT, UNLESS NOTED OTHERWISE. 10. ALL MASONRY BLOCKS SHALL BE BLOCKS UNLESS NOTED OTHERWISE.
- 11. FOR REINFORCED BLOCK MASONRY, CONTROL JOINTS TO OCCUR WHERE SHOWN ON DRAWINGS (BCJ) OTHERWISE AT MAXIMUM 10m CENTERS. JOINTS TO BE PLACED AT THE FOLLOWING LOCATIONS: - 4m FROM CORNERS - ALL MAJOR CHANGES IN WALL HEIGHT (GREATER THAN 1m) - CHANGES IN WALL THICKNESS OTHER THAN ENGAGED PIERS -T – JUNCTIONS 12. MAXIMUM POUR HEIGHT FOR 200 SERIES MASONRY BLOCKS SHALL BE 2400mm.
- 13. GROUT FILLED HOLLOW MASONRY SHALL HAVE CLEAN-OUT UNITS LAID ON THE FOOTING AND THE BASE OF EACH POUR. ALL MORTAR WHICH HAS FALLEN DOWN CORES SHALL BE SATISFACTORILY CLEANED OUT AND INSPECTED BY THE
- 14. COMPACTION OF GROUT SHALL BE BY VIBRATION OR RODDING WITH A ROD NOT LESS THAN 25mm DIAMETER
- 15. REINFORCEMENT IN MASONRY SHALL BE UNCOATED CARBON STEEL AND COMPLY WITH THE REQUIREMENTS OF AS4671. 16. ALL MASONRY CAPPING BLOCKS ARE TO BE FIXED USING AN APPROVED CONSTRUCTION ADHESIVE. MORTAR JOINING
- SHALL NOT BE PERMITTED. 17. NO HOLES OR CHASES SHALL BE CUT INTO BLOCKWORK/BRICKWORK WITHOUT PRIOR APPROVAL OF THE ENGINEER. 18. ALL STARTER BARS ARE TO BE TIED TO FOUNDATION REINFORCING PRIOR TO POUR. WET SET IS NOT PERMITTED.
- 19. ALL REINFORCEMENT SHALL HAVE MASONRY BAR CHAIRS OR BE TIED INTO POSITION TOP AND BOTTOM FOR BLOCKWORK.

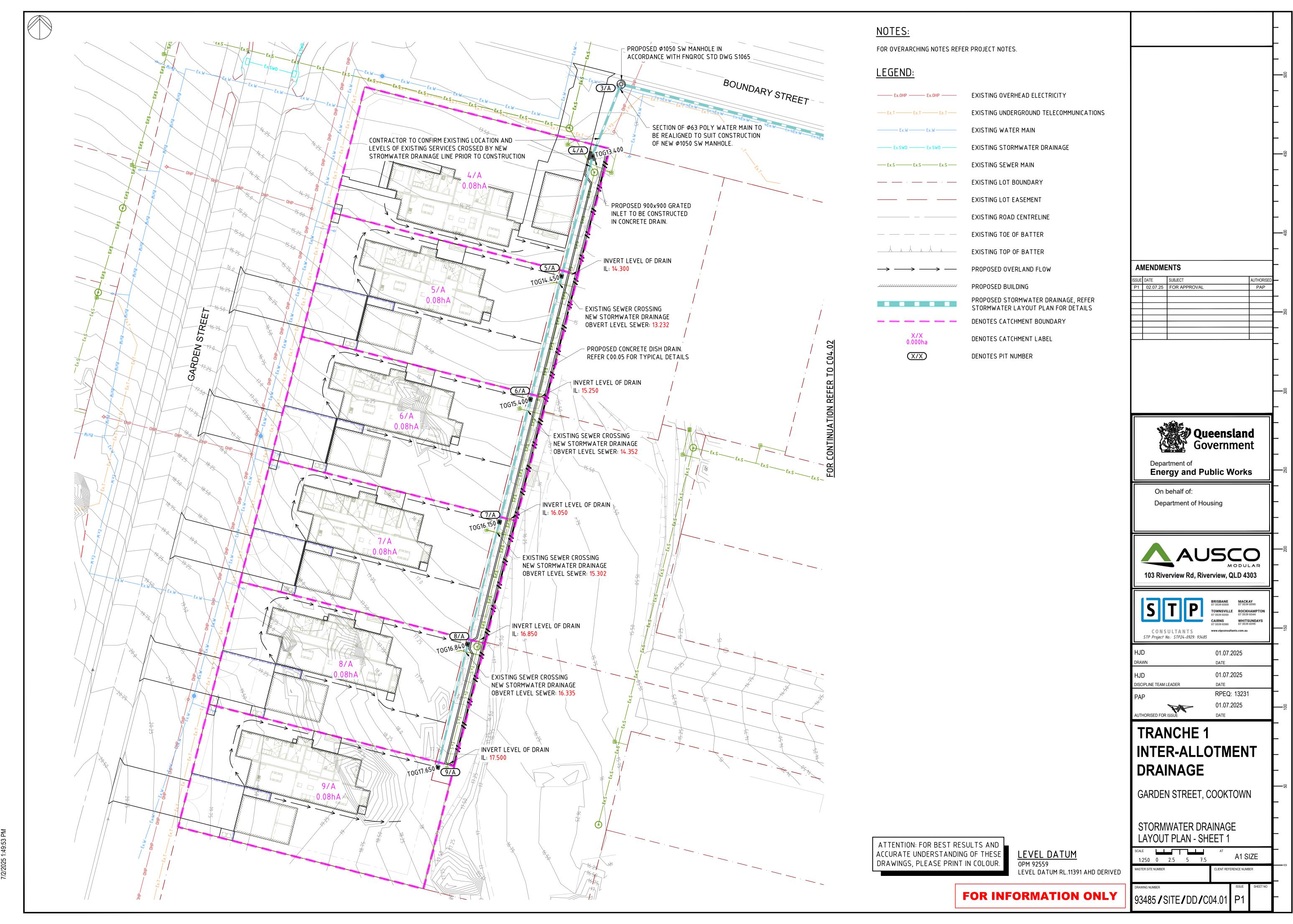
	MENDME				
P1	02.07.25	SUBJECT FOR APPROVAL	-		PAP
		1			
				lon	1
			HAA#6		
		- 1	ueens overni		
	-	Gurtment of	overn	men	it
	Ene	ortment of rgy and P	overn	men	it
	On	Gurtment of	overni Public V	men	it
	On	rtment of rgy and P	overni Public V	men	it
	On	ortment of rgy and P behalf of: partment of H	ousing	Vorks	s
	On Dep	behalf of:	overni Public V ousing	Vorks	S AR
	On Dep	ortment of rgy and P behalf of: partment of H	overni Public V ousing	Vorks	S AR
	On Dep	behalf of: partment of H	ousing BRISBANE 0735398300 TOWNSVILLE	Vorks Vorks A O D U L QLD 43	S AR 603
	On Dep	behalf of: erview Rd, Ri	ousing BRISBANE 0735398350 CAIRNS 0735398380	Vorks Vorks A O D U L QLD 43 MACK 07 3539 E ROCKH 07 3539 WHITS 07 3539	AY BASSO BAMPTON B344 UNDAYS
	On Dep	behalf of: partment of H	ousing BRISBANE 0735398300 TOWNSOULL 0735398350 CAIRNS 0735398380 www.stpconsul	MACK. 07 3539 E ROCKIP 07 3539 WHITS 07 3539 whitstants.com.au	AY BASSO BAMPTON B344 UNDAYS
HJE	On Dep	erview Rd, Ri	ousing BRISBANE 07 3539 8350 CAIRNS 07 3539 8380 www.stpconsul	MACK. 07 3539 E ROCKIP 07 3539 WHITS 07 3539 whitstants.com.au	AY BASSO BAMPTON B344 UNDAYS
HJ[DRAN	On Dep	rtment of rgy and P behalf of: partment of H P P P P P P P P P P P P P P P P P P	ousing BRISBANE 07 3539 8300 TOWNSVILL 07 3539 8350 CAIRNS 07 3539 8380 www.stpconsul	MACK. 07 3539 E ROCKIO7 3539 WHITS 07 3539 Utants.com.au	AY BASSO BAMPTON B344 UNDAYS
HJ[DRAN	On Dep	rtment of rgy and P behalf of: partment of H P P P P P P P P P P P P P P P P P P	DVEINI Public V ousing BRISBANE 07 3539 8300 TOWNSVILL 07 3539 8300 Www.stpconsul 85 01.07. DATE 01.07. DATE	MACK. 07 3539 E ROCKI 07 3539 WHITS WHITS 2025 2025 13231	AY BASSO BAMPTON B344 UNDAYS
HJE DRAM HJE DISC PAR AUTH	On Dep	T P SULTANTS No.: STP24-0929: 934	DVEINI Public V ousing BRISBANE 07 3539 8300 TOWNSVILL 07 3539 8350 CAIRNS 07 3539 8380 www.stpconsul 85 01.07. DATE 01.07. DATE RPEQ 01.07. DATE RPEQ 01.07. DATE	MACK. 07 3539 E ROCKI 07 3539 WHITS WHITS 2025 2025 13231	AY BASSO BAMPTON B344 UNDAYS
HJE DRAM HJE DISC PAK	On Dep	T P SULTANTS No.: STP24-0929: 934	DVernic V Public V ousing BRISBANE 0735398300 TOWNSVILL 0735398350 CAIRNS 0735398380 www.stpconsul 85 01.07. DATE 01.07. DATE RPEQ 01.07. DATE RPEQ 11.07.	MACK 07 3539 E ROCKH 07 3539 WHITS 07 3539 WHITS 2025 2025 2025 2025	S AR 803
HJE DISC PAN	On Dep 103 Riv 103 Riv STP Project I	T P SULTANTS No.: STP24-0929: 934	DVEINI Public V ousing BRISBANE 073539 8300 TOWNSVILL 073539 8350 CAIRNS 073539 8350 Www.stpconsul 85 01.07. DATE 01.07. DATE RPEQ 01.07. DATE RPEQ 11.07. DATE	MACK 07 3539 E ROCKH 07 3539 WHITS 07 3539 WHITS 2025 2025 2025 2025	S AR 803
HJE DISC PAN	On Dep 103 Riv 103 Riv STP Project I	T P SULTANTS No.: STP24-0929: 934	DVEINI Public V ousing BRISBANE 073539 8300 TOWNSVILL 073539 8350 CAIRNS 073539 8350 Www.stpconsul 85 01.07. DATE 01.07. DATE RPEQ 01.07. DATE RPEQ 11.07. DATE	MACK 07 3539 E ROCKH 07 3539 WHITS 07 3539 WHITS 2025 2025 2025 2025	S AR 803
HJII DRAN HJII DISC PAR	On Dep 103 Riv 103 Riv 103 Riv 104 Rive 105 RAI HORISED FOR RAI NTE RAI NTE	T P SULTANTS No.: STP24-0929: 934	DVEINI Public V ousing BRISBANE 07 3539 8300 TOWNSVILL 07 3539 8350 CAIRNS 07 3539 8380 Www.stpconsul 85 01.07. DATE 01.07. DATE 1 OT M	MACK. 07 3539 E ROCKI- 07 3539 WHITE 2025 2025 2025 13231 2025	AY 8390 HAMPTON 8344 UNDAYS 8399
HJE DRAN HJE DISC PAN AUTH	On Dep 103 Riv 103 Riv STP Project STP	T P LEADER LEADER CT NOTES CT NOTES	DVEINIC VERNIC VERVIEW, COUSING BRISBANE 073539 8350 CAIRNS 073539 8350 CAIRNS 073539 8350 WWW.stpconsul 85 01.07. DATE 01.07. DATE RPEQ 01.07. DATE 1 OTM	MACK. 07 3539 E ROCKI- 07 3539 WHITE 2025 2025 2025 13231 2025	AY 8390 HAMPTON 8344 UNDAYS 8399
HJE DRAN HJE DISC PAN AUTH	In the second of	T P LEADER LEADER CT NOTES CT NOTES	DVEINIC VERNIC VERVIEW, COUSING BRISBANE 073539 8350 CAIRNS 073539 8350 CAIRNS 073539 8350 WWW.stpconsul 85 01.07. DATE 01.07. DATE RPEQ 01.07. DATE 1 OTM	MACK. 07 3539 E ROCKI- 07 3539 WHITE 2025 2025 2025 13231 2025	AY 8390 HAMPTON 8344 UNDAYS 8399
HJE DRAN HJE DISC PAN AUTH	In the second of	T P LEADER LEADER CT NOTES CT NOTES	DVEINI Public V ousing BRISBANE 0735398350 TOWNSVILL 0735398350 Verview, O CAIRNS 0735398380 Www.stpconsul 85 01.07. DATE 01.07. DATE RPEQ 01.07. DATE 1 OTM	MACK. 07 3539 E ROCKI- 07 3539 WHITE 2025 2025 2025 13231 2025	AY 8390 HAMPTON 8344 UNDAYS 8399
HJE DRAM HJE DISC PAM AUTH	In Dep 103 Riv 103 Riv 103 Riv 103 Riv 104 RAI ARDEI PROJECT PRAI ARDEI PROJECT SHEE E	T P LEADER LEADER CT NOTES CT NOTES	DVEINI Public V ousing BRISBANE 0735398350 TOWNSVILL 0735398350 Verview, O CAIRNS 0735398380 Www.stpconsul 85 01.07. DATE 01.07. DATE RPEQ 01.07. DATE 1 OTM	Vorks Vorks A O D U I QLD 43 MACK 07 3539 WHITS 07 3539 WHITS 07 3539 WHITS 13231 2025 E NOWN A1 S	AY 8390 HAMPTON 8344 UNDAYS 8399

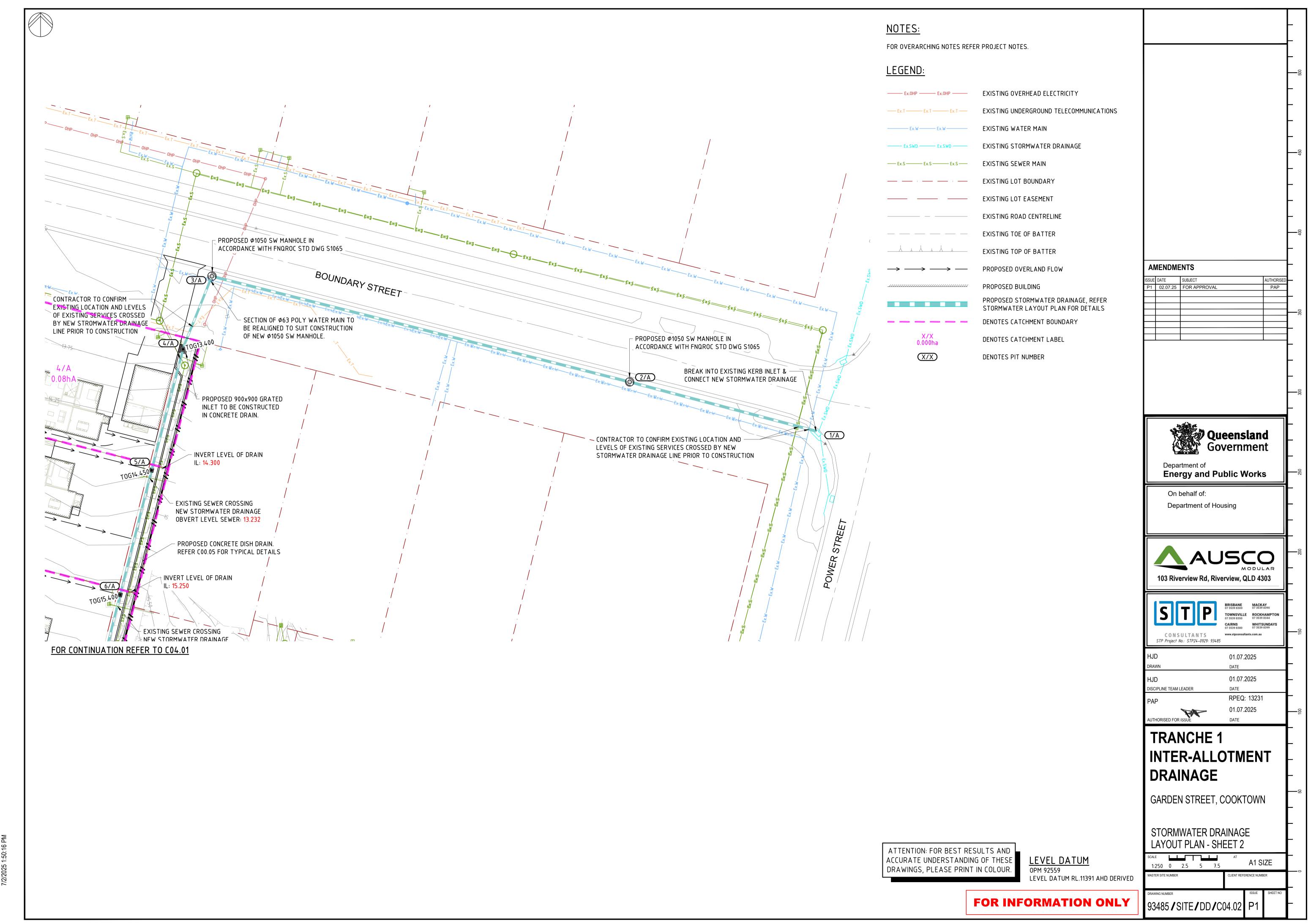
FOR INFORMATION ONLY











BILL OF QUANTITIES



Project	TRANCHE 1 - LOT 14-19 GARDEN STREET, COOKTOWN
Job No.	STP24-0929
Date	28-Jul-25
BOQ Rev.	A
Drawings	
Rev.	

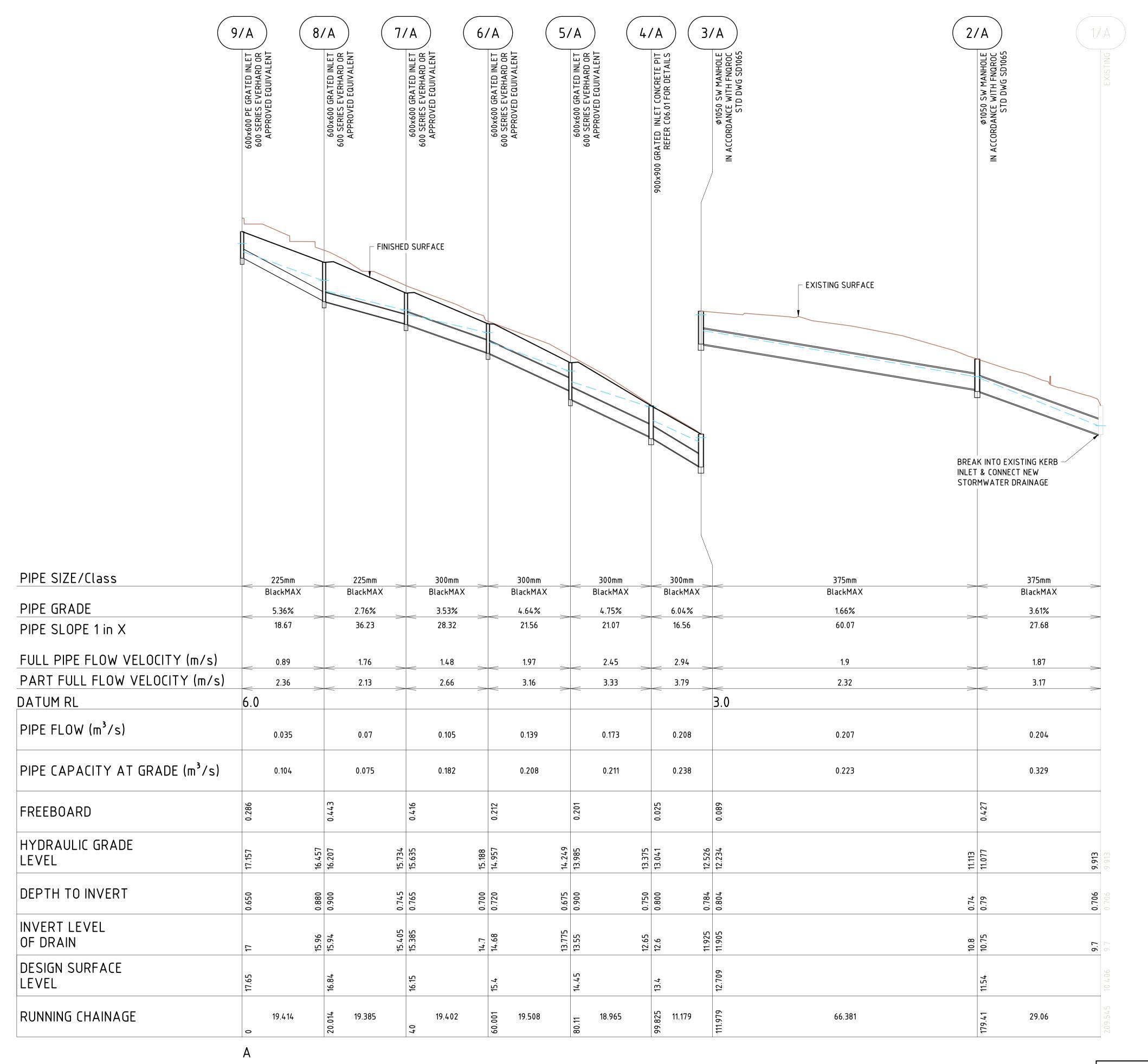
CONSTRUCTION COST SUMMARY

SECTION	ITEM		AMOUNT
1	PRELIMINARIES		\$7,000
2	ROADWORKS		\$47,280
3	STORMWATER RETICULATION		\$89,870
	SUB TOTAL (EXCLUSIVE OF GST)		\$144,150
	GST		\$14,415
	TOTAL		\$158,565

ITEM NO.	DESCRIPTION	UNIT	QUANTITY	RATE	TOTAL
	SECTION 1 : PRELIMINARIES				
1.1	Site establishment & disestablishment	Item	1	2000.00	\$ 2,000.00
1.2	Location of existing services via Hydro-excavation (Prov Qty).	Item	1	1000.00	\$ 1,000.00
1.3	Prepare, submit and undertake traffic management plan in accordance with project authority	Item	1	1500.00	\$ 1,500.00
1.4	Prepare, submit and undertake Workplace Health and Safety Management plan in accordance with project authority	Item	1	1000.00	\$ 1,000.00
1.5	Insurance	Item	1	1500.00	\$ 1,500.00
TOTAL SECTION 1 PRELIMINARIES				\$ 7,000.00	

ITEM NO.	DESCRIPTION	UNIT	QUANTITY	RATE	TOTAL
	SECTION 2 : ROADWORKS				
2.1	Provision for Traffic	Item	1	1,500.00	\$ 1,500.00
2.2	Roll, grade and trim subgrade	m ²	108	2.50	\$ 270.00
2.3	Concrete pavement as specified, complete including supply, broom, jointing, reinforcement, lay, compaction and testing.				
	(a) 150mm Thick, N32, SL82 Mesh	m ²	108	120.00	\$ 12,960.00
2.4	Construct Driveway Crossover in accordance with FNQROC STD DWG S1015	No	6	5,000.00	\$ 30,000.00
2.5	200mm CM Blocks core filled complete in accordance with design drawings	m	204	12.50	\$ 2,550.00
TOTAL SECTION 2 ROADWORKS					\$ 47,280.00

ITEM NO.	DESCRIPTION	UNIT	QUANTITY	RATE	тот	AL
	SECTION 3: STORMWATER DRAINAGE					
3.1	Supply, lay and joint BlackMAX PE pipes, including trench excavation, bedding and surround sand, backfill, compaction and disposal of spoil as specified:-					
	(a) 225mm dia	m	39	250.00	\$ 9,	750.00
	(b) 300mm dia	m	69	300.00	\$ 20,	700.00
	(c) 375mm dia	m	95	375.00	\$ 35,	525.00
3.2	Crusher dust backfill to stormwater pipes under road pavements as specified.	m	203	15.00	\$ 3,0	045.00
3.3	Construct manholes complete including excavation, covers, etc					
	(a) 1050 dia in accordance with FNQROC standard drawing sd1065	No	2	6,500.00	\$ 13,	00.00
3.4	Construct Grated Field Inlet pits complete including excavation, galvanised grates and reinforcing. (a) 900x900	No	1	4,000.00	\$ 4,0	00.00
3.5	Supply and install PE pits complete including excavation, galvanised grates and concrete.					
	(a) 600×600	No	5	750.00	\$ 3,	750.00
	TOTAL SECTION 3 STORMWATER DRAINAGE					370.00



ATTENTION: FOR BEST RESULTS AND ACCURATE UNDERSTANDING OF THESE DRAWINGS, PLEASE PRINT IN COLOUR.

LEVEL DATUM OPM 92559 LEVEL DATUM RL.11391 AHD DERIVE

FOR INFORMATION ONLY

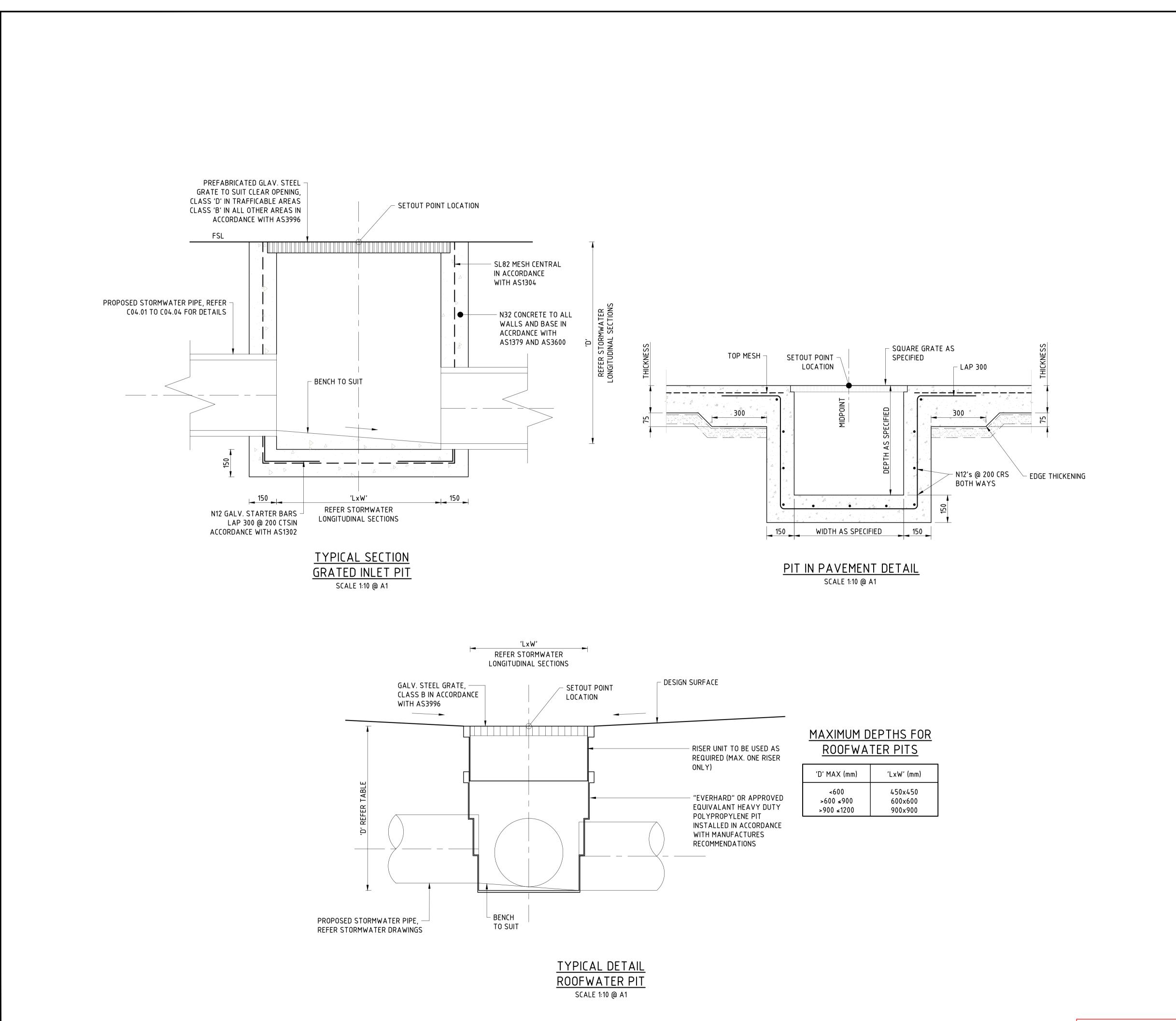
		450
		400
	AMENDMENTS ISSUE DATE SUBJECT AUTHORISED P1 02.07.25 FOR APPROVAL PAP	350
		300
	Queensland Government Department of Energy and Public Works On behalf of: Department of Housing	250
	103 Riverview Rd, Riverview, QLD 4303	7 D S S S S S S S S S S S S S S S S S S
	BRISBANE 07 3539 8300 MACKAY 07 3539 8390 TOWNSVILLE 07 3539 8340 O7 3539 8344 CAIRNS 07 3539 8380 O7 3539 8344 WHITSUNDAYS 07 3539 8380 O7 3539 8399 Www.stpconsultants.com.au WHITSUNDAYS 07 3539 8399 Www.stpconsultants.com.au HJD	1 1 1
	DRAWN DATE HJD 01.07.2025 DISCIPLINE TEAM LEADER DATE PAP RPEQ: 13231 01.07.2025 DATE	1 1 100
	TRANCHE 1 INTER-ALLOTMENT DRAINAGE GARDEN STREET, COOKTOWN	20 9
	STORMWATER LONGITUDINAL SECTION SCALE AT A1 SIZE	- - -
DERIVED	MASTER SITE NUMBER CLIENT REFERENCE NUMBER DRAWING NUMBER SHEET NO P1	

7/2/2025 1-51-19 DM

	_
	-
	_
	-
	-
	-
	AMENDMENTS
	ISSUE DATE SUBJECT AUTHORISED P1 02.07.25 FOR APPROVAL PAP
Tc C A CA Qc Qa CA CA Qc Qa CA CA Qc Qa CA CA Qc Qb Tc CA Q L S CA Qc Qa CA CA Qa CA CA Qa CA CA CA Qa CA CA CA CA CA CA CA C	
THE PIECE OF SERVINO S	
S S S S S S S S S S S S S S S S S S S	
SS STRUCK (%) INTO IN TO IN TO IN TO IN TABLE (%) INTO IN TABLE (%)	
AEP EVENT (%) STRUCTURE STRUCTURE STRUCTURE STRUCTURE STRUCTURE STRUCTURE STRUCTURE OVERLAND	STRUC
10.0 9/A 9/A to 8/A 20 2.5 10 0.5 10 192 0.7 0.08 0.066 35 35 0.066 22 0.5 3 600x600 GRATED INLET 35 0 10 192 0.066 35 19.414 5.36 225 uPVC SN10 0.89 104 2.61 G1 0.04 5.16 0.206 0.206 3.61 0.732 0.09 2.36 17 15.96 17.157 16.457 17.364 17.60	.65 9/A
10.0 8/A 8/A to 7/A 20 2.5 10 0.5 10 192 0.7 0.08 0.066 35 35 0.066 22 0.5 3 600x600 GRATED INLET 35 0 10.12 191 0.132 70 19.385 2.76 225 BlackMAX 1.76 75 1.88 T1 0.159 1.58 0.25 0.25 2.44 0.472 0.173 2.13 15.94 15.405 16.207 15.734 16.457 16.50 16.207 15.734 16.457 16.207 15.734 16.207 15.734 16.207 15.734 16.207 15.734 16.207 15.734 16.207 15.734 16.207 15.734 16.207 15.734 16.207 15.734 16.207 15.734 16.207 15.734 16.207 15.734 16.207 15.734 16.207 15.734 16.207 15.734 16.207 15.734 16.207 15.734 16.207 15.734 16.207 15.734 16.207 15.207 15.207 15.207 15.207 15.207 15.207 15.207 15.207 15.207 15.207 15.207 15.207 15.207 15.207 1	i.9 8/A
	Government
10.0 6/A 6/A to 5/A 20 2.5 10 0.5 10 192 0.7 0.08 0.066 35 35 0.066 22 0.5 3 600x600 GRATED INLET 35 0 10.41 189 0.33 173 18.965 4.75 300 BlackMAX 2.45 211 2.98 T1 0.307 0.86 0.264 3.22 0.61 0.207 3.33 13.55 12.65 13.985 13.375 14.249 15.188 15.41 1.208 12.41 12.98 12.41 12.98 12.41 12.98 12.41 12.98 12.41 12.98 12.429 14.449 14.	Department of
10.0 4/A 4/A to 3/A 20 2.5 10 0.5 10 192 0.7 0.08 0.066 35 35 0.049 286 0.5 3 900x900 FIELD INLET 35 0 10.51 189 0.396 208 11.179 6.04 300 BlackMAX 2.94 238 3.36 T1/T2 0.44 0.76 0.335 4.61 0.515 0.217 3.79 12.6 11.925 13.041 12.526 13.375 13.04	Lifergy and Public Works
10.0 3/A 3/A to 2/A 20 2.5 10 0.5 3 MH 10.57 189 0.396 207 66.381 1.66 373 BlackMAX 1.9 223 2.04 T8/T10 0.184 1.59 0.292 2.11 0.387 1.69 1.103 0.284 2.32 11.905 10.8 12.234 11.113 12.62 12.70	Department of Housing
10.0 2/A 2/A to 1/A 20 2.5 10 0.5 3 MH 1.11 186 0.396 204 29.06 3.61 373 BlackMAX 1.87 329 3.01 T1 0.178 0.2 0.036 0.036 4.01 0.858 0.213 3.17 10.77 9.913 11.113 11.50 11.00 1/A 20 1.00	
	AUSCO
	103 Riverview Rd, Riverview, QLD 4303
	BRISBANE MACKAY 07 3539 8300 07 3539 8390
	BRISBANE MACKAY 07 3539 8300 07 3539 8390 TOWNSVILLE ROCKHAMPTON 07 3539 8350 07 3539 8344 CAIRNS WHITSUNDAYS 07 3539 8380 07 3539 8399
	CONSULTANTS www.stpconsultants.com.au STP Project No.: STP24-0929: 93485
	HJD 01.07.2025 DRAWN DATE
	HJD 01.07.2025 — DISCIPLINE TEAM LEADER DATE
	PAP RPEQ: 13231
	AUTHORISED FOR ISSUE DATE
	TRANCHE 1
	INTER-ALLOTMENT
	DRAINAGE
	GARDEN STREET, COOKTOWN
	STORMWATER DATA TABLE
	scale AT A1 SIZE

7/2/2025 1-51-54 PM

FOR INFORMATION ONLY 93485/SITE/DD/C04.04 P1



AMENDMENTS SSUE DATE SUBJECT
P1 02.07.25 FOR APPROVAL AUTHORISED **Queensland**Government Department of **Energy and Public Works** On behalf of: Department of Housing AUSCO 103 Riverview Rd, Riverview, QLD 4303 CONSULTANTS
STP Project No.: STP24-0929: 93485 01.07.2025 01.07.2025 DISCIPLINE TEAM LEADER RPEQ: 13231 01.07.2025 AUTHORISED FOR ISSUE TRANCHE 1 INTER-ALLOTMENT DRAINAGE GARDEN STREET, COOKTOWN MISCELLANEOUS DETAILS A1 SIZE 93485/SITE/DD/C06.01 P1

FOR INFORMATION ONLY