
From: Nathan Periyathambi <NathanP@stpconsultants.com.au>
Sent: Monday, 28 July 2025 12:00 PM
To: Mail Cook
Cc: Leigh Stegeman
Subject: OPERATIONAL WORK APPLICATION LODGEMENT - GARDEN STREET, COOKTOWN
Attachments: 1. DA-Form-1.pdf; 2. RPEQ Certified Civil Drawings 1.pdf; 3. RPEQ Certified Estimate of Costs 2.pdf; STP24-0929 Cover Letter Application 2.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

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To whom it may concern,

Please find the attached pdf of operational work application with supporting documents/plans. This is regarding Garden Street, Cooktown (Lot 14-19 on SP336242).

If you have any questions or concerns, Please do not hesitate to contact me.

Thank you.

Regards,

NATHAN PERIYATHAMBI

Graduate Civil Engineer
E. NathanP@stpconsultants.com.au



BRISBANE | TOWNVILLE | CAIRNS | MACKAY | ROCKHAMPTON | WHITSUNDAYS

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P. 07 3539 8350 A. [Level 3, 382 Sturt Street, Townsville, QLD, 4810](#) W. stpconsultants.com.au

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CIVIL
MECHANICAL
ELECTRICAL
HYDRAULIC
FIRE
SEISMIC
SECTION J
ENGINEERS



28 July 2025
Ref: STP24-0929

Cook Shire Council
10 Furneaux Street
Cooktown, QLD 4895

Attention: Planning and Development

Dear Sir/Madam,

**AUSCO MODULAR PTY LTD
OPERATIONAL WORKS APPLICATION
LOT 14-19 ON SP336242
GARDEN STREET, COOKTOWN, QLD 4895**

On behalf of our client, Ausco Modular Pty Ltd, we enclose our application for Operational Works for the above-mentioned project, including the following documentation:

1. DA Form 1
2. RPEQ Certified Civil Works Drawings
3. RPEQ Certified Estimate of Costs (\$158,565 incl GST)

We have calculated the application fee to be **\$1982.06** this being 1.25% of estimated cost of works as per Cook Shire Council Schedule of Fees and Charges 2025/2026.

Please email civil@stpconsultants.com.au verifying this calculated fee to be correct, including the assessment number and the Council reference number. Our Client, Ausco Modular Pty Ltd will then arrange payment to be made in a timely manner.

Should you require any further information in respect to this matter please do not hesitate to contact Leigh Stegeman on telephone 07 3539 8304.

Yours faithfully,
STP Consultants

LEIGH STEGEMAN BEng, NER, RPEQ 10639

Partner - Senior Civil & Structural Engineer
P. 07 3539 8304 E. leigh@stpconsultants.com.au

Enc: As detailed above

Cc: Mr Andrew Lyster (Ausco Modular Pty Ltd)

BRISBANE
P. 07 3539 8300

TOWNSVILLE
P. 07 3539 8350

CAIRNS
P. 07 3539 8380

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P. 07 3539 8390

ROCKHAMPTON
P. 07 3539 8344

WHITSUNDAYS
P. 07 3539 8399

DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Ausco Modular Pty Ltd
Contact name (only applicable for companies)	Mr Paul Petersen
Postal address (P.O. Box or street address)	Level 3/ 382 Sturt Street
Suburb	Townsville
State	QLD
Postcode	4810
Country	Australia
Contact number	0432 285 867
Email address (non-mandatory)	civil@stpconsultants.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	STP24-0929
1.1) Home-based business	
☐ Personal details to remain private in accordance with section 264(6) of <i>Planning Act 2016</i>	

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
☐ Yes – the written consent of the owner(s) is attached to this development application	
☒ No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
			Garden Street	Cooktown
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
		14-19	SP336242	Cook Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		☐ WGS84 ☐ GDA94 ☐ Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		☐ 54 ☐ 55 ☐ 56	☐ WGS84 ☐ GDA94 ☐ Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- ☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- ☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- ☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable)

☐ On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport:
☐ Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification:
☐ Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification:

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☒ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☐ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☒ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

Stormwater drainage for newly developed residential lots.

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- ☐ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

6.4) Is the application for State facilitated development?

- ☐ Yes - Has a notice of declaration been given by the Minister?
- ☒ No

Section 2 – Further development details**7) Does the proposed development application involve any of the following?**

Material change of use	☐ Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	☐ Yes – complete division 2
Operational work	☒ Yes – complete division 3
Building work	☐ Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)

8.2) Does the proposed use involve the use of existing buildings on the premises?

- ☐ Yes
- ☐ No

8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☐ No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

--

9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

☐ Subdivision (complete 10)	☐ Dividing land into parts by agreement (complete 11)
☐ Boundary realignment (complete 12)	☐ Creating or changing an easement giving access to a lot from a constructed road (complete 13)

10) Subdivision**10.1) For this development, how many lots are being created and what is the intended use of those lots:**

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?

- ☐ Yes – provide additional details below
- ☐ No

How many stages will the works include?

What stage(s) will this development application apply to?

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment**12.1) What are the current and proposed areas for each lot comprising the premises?**

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?**13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement?**
(attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work**Note:** This division is only required to be completed if any part of the development application involves operational work.**14.1) What is the nature of the operational work?**

- ☐ Road work ☒ Stormwater ☐ Water infrastructure
- ☐ Drainage work ☐ Earthworks ☐ Sewage infrastructure
- ☐ Landscaping ☐ Signage ☐ Clearing vegetation
- ☐ Other – please specify: _____

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)☐ Yes – specify number of new lots: _____☒ No

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$158,565

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Cook Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- ☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ SEQ northern inter-urban break – tourist activity or sport and recreation activity



Queensland
Government

- ☐ SEQ northern inter-urban break – community activity
- ☐ SEQ northern inter-urban break – indoor recreation
- ☐ SEQ northern inter-urban break – urban activity
- ☐ SEQ northern inter-urban break – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material *(from a watercourse or lake)*
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees *(category 3 levees only)*
- ☐ Wetland protection area

Matters requiring referral to the **local government**:

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) *(only if the ERA has been devolved to local government)*
- ☐ Heritage places – Local heritage places

Matters requiring referral to the **Chief Executive of the distribution entity or transmission entity**:

- ☐ Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual
- ☐ Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the **Brisbane City Council**:

- ☐ Ports – Brisbane core port land

Matters requiring referral to the **Minister responsible for administering the Transport Infrastructure Act 1994**:

- ☐ Ports – Brisbane core port land *(where inconsistent with the Brisbane port LUP for transport reasons)*
- ☐ Ports – Strategic port land

Matters requiring referral to the **relevant port operator**, if applicant is not port operator:

- ☐ Ports – Land within Port of Brisbane's port limits *(below high-water mark)*

Matters requiring referral to the **Chief Executive of the relevant port authority**:

- ☐ Ports – Land within limits of another port *(below high-water mark)*

Matters requiring referral to the **Gold Coast Waterways Authority**:

- ☐ Tidal works or work in a coastal management district *(in Gold Coast waters)*

Matters requiring referral to the **Queensland Fire and Emergency Service**:

- ☐ Tidal works or work in a coastal management district *(involving a marina (more than six vessel berths))*

18) Has any referral agency provided a referral response for this development application?

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☒ No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application *(if applicable)*.

PART 6 – INFORMATION REQUEST

19) Information request under the DA Rules

☒ I agree to receive an information request if determined necessary for this development application

☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

☐ Yes – provide details below or include details in a schedule to this development application

☒ No

List of approval/development application references	Reference number	Date	Assessment manager
☐ Approval			
☐ Development application			
☐ Approval			
☐ Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

☐ Yes – a copy of the receipted QLeave form is attached to this development application

☒ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

☐ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

☐ Yes – show cause or enforcement notice is attached

☒ No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- ☒ No

Note: Application for an environmental authority can be found by searching "ESR/2015/1791" as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
- ☒ No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- ☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- ☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- ☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- ☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- ☐ Yes – the development application involves premises in the koala habitat area in the koala priority area
- ☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area
- ☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.desi.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

- ☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development
- ☒ No

Note: Contact the Department of Resources at www.resources.qld.gov.au for further information.

DA templates are available from planning.statedevelopment.qld.gov.au. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

- ☐ Yes – the relevant template is completed and attached to this development application
- ☒ No

DA templates are available from planning.statedevelopment.qld.gov.au. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

- ☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*
- ☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

Note: Contact the Department of Resources at www.resources.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

Note: Contact the Department of Environment, Science and Innovation at www.desi.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application
- ☒ No

Note: See guidance materials at www.resources.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title

☒ No

Note: See guidance materials at www.desi.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

☐ Yes – details of the heritage place are provided in the table below

☒ No

Note: See guidance materials at www.desi.qld.gov.au for information requirements regarding development of Queensland heritage places.

For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at www.planning.statedevelopment.qld.gov.au for information regarding assessment of Queensland heritage places.

Name of the heritage place:

Place ID:

Decision under section 62 of the Transport Infrastructure Act 1994

23.14) Does this development application involve new or changed access to a state-controlled road?

☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

Note: See guidance materials at www.planning.statedevelopment.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

Note: See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☐ Yes

☒ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☒ Yes

☐ Not applicable



**Queensland
Government**

25) Applicant declaration

- ☒ By making this development application, I declare that all information in this development application is true and correct
- ☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

TRANCHE 1 INTER-ALLOTMENT DRAINAGE

GARDEN STREET, COOKTOWN

LOTS 14-19 ON SP336242

DRAWING SHEET LIST

Sheet Number	Drawing Title
GENERAL ARRANGEMENT	
C00.01	COVER PAGE
C00.02	PROJECT NOTES - SHEET 1
C00.03	PROJECT NOTES - SHEET 2
C00.04	GENERAL ARRANGEMENT LAYOUT PLAN
C00.05	TYPICAL SITE SECTIONS - SHEET 1
C00.06	TYPICAL SITE SECTIONS - SHEET 2
STORMWATER DRAINAGE PLAN	
C04.01	STORMWATER DRAINAGE LAYOUT PLAN - SHEET 1
C04.02	STORMWATER DRAINAGE LAYOUT PLAN - SHEET 2
C04.03	STORMWATER LONGITUDINAL SECTION
C04.04	STORMWATER DATA TABLE
MISCELLANEOUS DETAILS	
C06.01	MISCELLANEOUS DETAILS

AMENDMENTS

ISSUE	DATE	SUBJECT	AUTHORISED
P1	02.07.25	FOR APPROVAL	PAP



Department of
Energy and Public Works

On behalf of:
Department of Housing



103 Riverview Rd, Riverview, QLD 4303



STP Project No.: STP24-0929: 93485

BRISBANE
07 3539 8360
TOWNSVILLE
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CAIRNS
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MACKAY
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HJD	01.07.2025
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TRANCHE 1
INTER-ALLOTMENT
DRAINAGE

GARDEN STREET, COOKTOWN

COVER PAGE

SCALE AT A1 SIZE

MASTER SITE NUMBER CLIENT REFERENCE NUMBER

DRAWING NUMBER ISSUE SHEET NO

93485 / SITE / DD / C00.01 P1



SITE LAYOUT PLAN
SCALE 1:500 @ A1



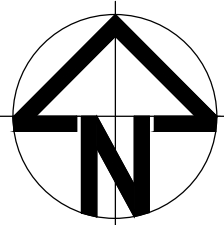
LOCALITY MAP
NTS

SURVEY INFORMATION

SURVEYOR: TWIN SURVEYS PTY LTD
PARISH OF: REFER SURVEY
COUNTY OF: REFER SURVEY
LOCAL AUTHORITY: COOK SHIRE COUNCIL

OPM 92559
LEVEL DATUM RL11391 AHD DERIVED

REFERENCE PLANS No. 8645-ASCON Rev C



SCALE 1:500 (A1) 1:1000 (A3)
DO NOT SCALE USE ONLY THE DIMENSIONS PROVIDED.



FOR INFORMATION ONLY

CONCRETE NOTES:

1. BUILDER TO ENSURE CONCRETE MATERIAL AND QUALITY BY THE CONCRETE SUPPLIER TO BE IN ACCORDANCE WITH RELEVANT CODES AND REGULATIONS.
2. ALL CONCRETE WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE FOLLOWING CODES, UNLESS SPECIFICALLY VARIED BY:
- AS2870 - RESIDENTIAL SLABS AND FOOTINGS (IF APPLICABLE).
 - AS3600 - CONCRETE STRUCTURES.
 - AS3610 - FORMWORK FOR CONCRETE.
 - AS/NZS 4671 - STEEL REINFORCING MATERIALS.
3. PROVIDE THE ENGINEER WITH AT LEAST 48 HOURS NOTICE OF REINFORCEMENT BEING READY FOR INSPECTION. NO CONCRETE IS TO BE POURED WITHOUT INSPECTION.
4. THE CHARACTERISTIC COMPRESSIVE STRENGTH OF CONCRETE TEST CYLINDERS (f'c) SHALL BE AS FOLLOWS:

f ' c AT 28 DAYS (MPa)	SLUMP (mm)	MAXIMUM AGGREGATE SIZE (mm)
N25	80	20
N32	80	20

5. NO ADDITIVES SHALL BE ADDED OR APPLIED TO THE CONCRETE MIX WITHOUT THE APPROVAL OF THE ENGINEER.
6. THE MAXIMUM PERMISSIBLE TRANSPORT TIME FOR CONCRETE BETWEEN BATCHING AND PLACEMENT ON SITE SHALL BE IN ACCORDANCE WITH THE FOLLOWING TABLE:

AMBIENT AIR TEMPERATURE	MAXIMUM BATCHING TO PLACEMENT TIME
10 - 24 DEGREES	120 MINUTES
25 - 27 DEGREES	90 MINUTES
28 - 30 DEGREES	60 MINUTES
31 - 33 DEGREES	45 MINUTES
34 - 36 DEGREES	30 MINUTES
37+ DEGREES	NO PLACEMENT OF CONCRETE UNLESS CHILLED WATER OR IN ICE MIX

7. THE EXPOSURE CLASSIFICATION FOR INDIVIDUAL CONCRETE ELEMENTS IS AS FOLLOWS:

LOCATION	EXPOSURE CLASSIFICATION
FOOTINGS	A2
INTERNAL CONCRETE SURFACES	A1
EXTERNAL CONCRETE SURFACES	B1

8. CURING REQUIREMENTS:

EXPOSURE CLASSIFICATION	MINIMUM f'c (MPa)	MINIMUM INITIAL CONTINUAL CURING DURATION (SEE AS3600 CL 17.15.1)
A1	20	3 DAYS
A2	25	3 DAYS
B1	32	7 DAYS
B2	40	7 DAYS
C1 & C2	50	7 DAYS

9. CURING SHALL BE EFFECTED BY USE OF AN APPROVED CURING COMPOUND WHICH SHALL BE APPLIED TO ALL CONCRETE SURFACES WHERE VISIBLE IMMEDIATELY ONCE CONCRETE IS HARD AND TO ALL FORMED SURFACES IMMEDIATELY AFTER FORMS ARE REMOVED, EXCEPT WHERE AN APPLIED FINISH IS TO BE USED. THE CURING COMPOUND SHALL THEN BE TAKEN OUT BY MAINTAINING THE SURFACE IN A MOIST CONDITION. OTHER CURING METHODS SHALL BE APPROVED IN WRITING BY THE ENGINEER PRIOR TO USE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEASURING AND RECORDING THE AIR TEMPERATURE, RELATIVE HUMIDITY, CONCRETE TEMPERATURE AND WIND VELOCITY (MEASURED 1m ABOVE THE AS PLACED CONCRETE) AT THE TIME OF CONCRETE PLACEMENT AND CONTINUE UNTIL CURING HAS COMMENCED. THIS INFORMATION SHALL BE USED IN CONJUNCTION WITH FIGURE 1 TO DETERMINE THE RATE OF EVAPORATION OF WATER FROM THE FRESHLY PLACED CONCRETE AND UNPROTECTED SURFACE OF THE CONCRETE. THE RATE OF EVAPORATION SHALL BE MONITORED BY THE CONTRACTOR UNTIL SUCH TIME AS CURING COMMENCES. WHEN THE VALUE OF THE RATE OF EVAPORATION AS DETERMINED FROM FIGURE 1 EXCEED 0.5kg/m2 PER HOUR, THE CONTRACTOR SHALL TAKE PRECAUTIONS TO MINIMISE EVAPORATION MOISTURE LOSSES SUCH AS THE APPLICATION OF ALIPHATIC ALCOHOL BASED EVAPORATIVE RETARDING COMPOUND, PLASTIC SHRINKAGE OR DRYING CRACKING IS LIKELY TO OCCUR WHEN SITE CONDITIONS GIVE AN EVAPORATION RATE OF 1kg/m2 PER HOUR. THEREFORE, PRECAUTIONS ARE RECOMMENDED WHEN THE EVAPORATION RATE IS LIKELY TO EXCEED 0.5kg/m2 PER HOUR. THE APPLICATION OF ALIPHATIC ALCOHOL, WHEN REQUIRED, IS TO BE APPLIED IMMEDIATELY AFTER THE INITIAL SCREENING AND WHILE THERE IS BLEED WATER STILL PRESENT ON THE SURFACE. REPEATED APPLICATIONS MAY BE NECESSARY. THE APPLICATION OF THE ALIPHATIC ALCOHOL SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. DETAILS OF THE PRODUCT AND ITS APPLICATION PROCEDURE SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW NOT LESS THAN 4 WEEKS PRIOR TO THE COMMENCEMENT OF PLACEMENT. THE CONCRETE SHALL NOT BE PLACED IN WEATHER WITH TEMPERATURES EXCEEDING 32°C.

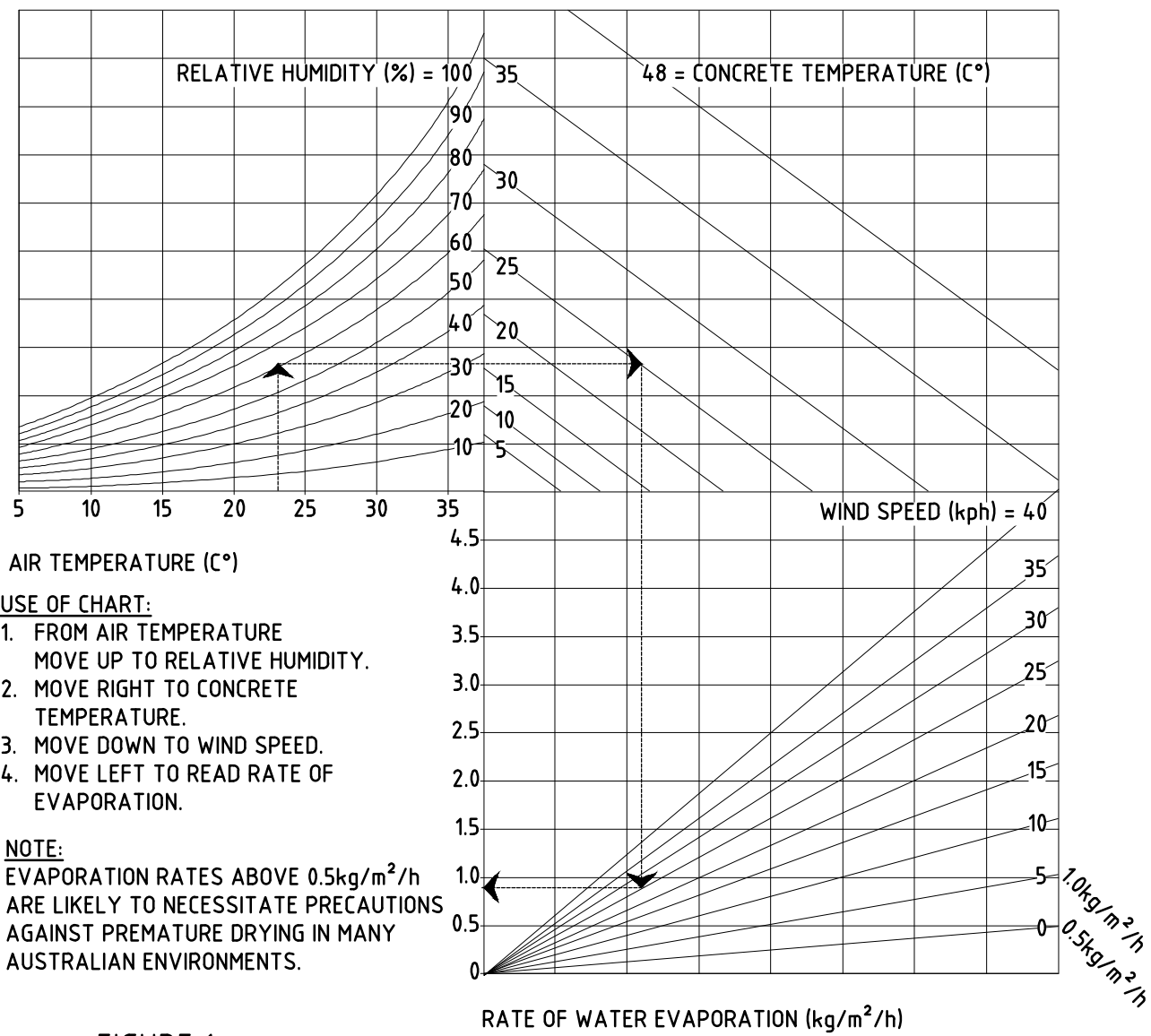


FIGURE 1:
EFFECT OF AMBIENT CONDITIONS ON RATE OF EVAPORATION ACI 305²

12. ALL CONCRETE SHALL BE VIBRATED IN ACCORDANCE WITH AS3600.
13. SIZES SHOWN ARE STRUCTURAL SIZES AND DO NOT INCLUDE APPLIED FINISHES.
14. REINFORCEMENT IS SHOWN DIAGRAMMATICALLY AND NOT IN TRUE PROJECTION.
15. NO CHASES OR HOLES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS WILL BE PERMITTED IN CONCRETE MEMBERS WITHOUT PRIOR APPROVAL OF THE SUPERINTENDENT.
16. FORMWORK FINISHES AND FINISH CLASS AS PER THE ARCHITECT'S SPECIFICATION.
17. WELDING OF REINFORCEMENT WILL NOT BE PERMITTED WITHOUT APPROVAL FROM SUPERINTENDENT.
18. ALL CONCRETE SHALL BE MECHANICALLY VIBRATED. VIBRATORS SHALL NOT BE USED TO SPREAD CONCRETE.
19. STRIPPING OF FORMWORK SHALL BE AS PER THE FOLLOWING:

FORMED SURFACE	CLASSIFICATION	HOT CONDITIONS >20°C	AVERAGE CONDITIONS <=20°C > 12°C	COLD CONDITIONS <=12°C >=5°C
VERTICAL FACES	CLASSES 1, 2, 3 CLASSES 4, 5	1 DAY 9 HOURS	2 DAYS 12 HOURS	3 DAYS 18 HOURS
	A MINIMUM OF ONE DAY APPLIES TO THE STRIPPING OF VERTICAL FACES WHERE FROST DAMAGE IS LIKELY			
BEAM AND SLAB SOFFITS	FORMS SUPPORTING MEMBERS (SHORES OR BACKPROPS)	4 DAYS 12 DAYS	6 DAYS 18 DAYS	8 DAYS 24 DAYS

20. STRIPPING OF FORMWORK AND REPROPPING OF SUSPENDED SLABS AND BEAMS SHALL BE CARRIED OUT PROGRESSIVELY SO THAT AT NO STAGE IS THE SLAB OR BEAM UNSUPPORTED UNTIL IT IS PERMITTED TO FULLY REMOVE ALL PROPPING.
21. IN MULTISTORY CONSTRUCTION, PROPS SHALL BE LOCATED IN THE SAME POSITION ON EACH FLOOR SO THAT THEY WILL BE CONTINUOUS IN THEIR SUPPORT FROM FLOOR TO FLOOR. WHERE THE NUMBER OF PROPS ON A FLOOR IS REDUCED, THE REMAINING PROPS SHALL BE LOCATED DIRECTLY UNDER PROPS ON THE FLOOR ABOVE.
22. SPLICES IN REINFORCEMENT TO BE MADE IN PLACES SHOWN OR APPROVED IN ALL CASES. GENERALLY, AT THE MIDSPAN FOR TOP STEEL AND NEAR SUPPORTS FOR BOTTOM STEEL. IN ALL CASES THE LAP LENGTH SHALL BE AS PER NOTE 25.
23. SL72, RL918 etc INDICATES REINFORCING FABRIC CONFORMING TO AS/NZS 4671. LAP LENGTHS SHALL BE:

FABRIC	END LAP (mm)	SIDE LAP (mm)
RL718, RL918	425	125
SL62, SL72, SL81, SL82, SL92, SL102	425	225
L8, L11, & L12 TRENCH MESH	350	-

24. TOP STEEL HAS MAIN BARS OR WIRES ON TOP. BOTTOM STEEL HAS MAIN BARS OR WIRES ON BOTTOM.

25. UNLESS NOTED OTHERWISE BAR LAPS SHALL BE:

BAR DIAMETER (mm)	TENSION LAP (mm)	TENSION ANCHORAGE (mm)
12	600	500
16	900	800
20	1200	1000
24	1600	1300
28	2000	1600
32	2400	1900
36	2800	2300
40	NA	NA

- LAPPED SPlicing NOT PERMITTED FOR N40 BARS. SPLICES SHALL BE ACHIEVED BY USE OF MECHANICAL COUPLERS.

26. ALL STARTER BARS TO REINFORCED CONCRETE WALLS, COLUMNS AND ALL MASONRY WALLS AND PIERS ARE TO BE TIED INTO THE FOOTING REINFORCEMENT.
27. NO CONSTRUCTION OR EXPANSION JOINTS ARE PERMITTED UNLESS SHOWN ON DRAWINGS.
28. CONCRETE TESTING RESULTS TO BE PROVIDED AT 1 TEST PER 50m3 WITH A MINIMUM OF 1 TEST PER DAY.
29. ALL TRAFFICABLE CONCRETE SLABS SHALL BE BROOM FINISHED PERPENDICULAR TO TRAFFIC FLOW. FOR SLABS WITH FALLS OF GREATER THAN 1 IN 10 (10%) USE HEAVY DUTY BROOM FINISH.
30. WHERE SERVICE PIPES PENETRATE CONCRETE ELEMENTS, PROVISION SHOULD BE MADE TO ALLOW FOR MOVEMENT OF THE ELEMENT.

MASONRY NOTES:

1. ALL MASONRY AND WORKMANSHIP SHALL COMPLY WITH THE REQUIREMENTS OF AS3700 - MASONRY AND THE REFERENCED STANDARDS THEREIN.
2. MINIMUM DURABILITY REQUIREMENTS:

LOCATION	SALT ATTACHED RESISTANCE GRADE OF MASONRY UNITS	MORTAR CLASS	DURABILITY CLASS OF WALL TIES AND BUILT IN COMPONENTS
INTERIOR MASONRY	GENERAL PURPOSE	M3	R3
EXTERIOR MASONRY - GREATER THAN 1km FROM SALT WATER	GENERAL PURPOSE	M3	R3
EXTERIOR MASONRY - UP TO 1km FROM SALT WATER	GENERAL PURPOSE	M4	R4

3. ALL MASONRY INDICATED ON THE DRAWINGS SHALL HAVE AN UNCONFINED COMPRESSIVE STRENGTH (f'c) AS PER BELOW UNO.
- HOLLOW CONCRETE MASONRY: 15 MPa
4. MORTAR SHALL BE CLASS M3 OR M4 IN ACCORDANCE WITH NOTE 2 ABOVE. REFER TO AS3700 FOR COMPLYING MIX PROPORTIONS. SAND SHALL BE CLEAN WELL GRADED AND FREE OF SILT AND CLAY. NO 'BRICKIES LOAM' ALLOWED.
5. GROUT USED IN REINFORCED MASONRY SHALL BE S20, 230mm SLUMP AND 10mm MAXIMUM AGGREGATE SIZE UNLESS NOTED OTHERWISE. CEMENT CONTENT SHALL NOT BE LESS THAN 300kg/m.
6. ADDITIVES SHALL NOT BE ADDED TO THE GROUT OR MORTAR WITHOUT THE SPECIFIC PERMISSION OF THE SUPERINTENDENT.
7. FACE BED HOLLOW UNITS AND FULLY FILL VERTICAL JOINTS. NO RAKING OF MORTAR JOINTS IS PERMITTED.
8. GROUTING SHALL NOT COMMENCE UNTIL THE MORTAR JOINTS HAVE GAINED SUFFICIENT STRENGTH TO RESIST BLOWOUT AND CORES HAVE BEEN CLEANED OUT.
9. ALL CORES SHALL BE FILLED WITH GROUT, UNLESS NOTED OTHERWISE.
10. ALL MASONRY BLOCKS SHALL BE BLOCKS UNLESS NOTED OTHERWISE.
11. FOR REINFORCED BLOCK MASONRY, CONTROL JOINTS TO OCCUR WHERE SHOWN ON DRAWINGS (BCJ) OTHERWISE AT MAXIMUM 10m CENTERS. JOINTS TO BE PLACED AT THE FOLLOWING LOCATIONS - 4m FROM CORNERS - ALL MAJOR CHANGES IN WALL HEIGHT (GREATER THAN 1m) - CHANGES IN WALL THICKNESS OTHER THAN ENGAGED PIERS - T-JUNCTIONS
12. MAXIMUM POUR HEIGHT FOR 200 SERIES MASONRY BLOCKS SHALL BE 2400mm.
13. GROUT FILLED HOLLOW MASONRY SHALL HAVE CLEAN-OUT UNITS LAID ON THE FOOTING AND THE BASE OF EACH POUR. ALL MORTAR WHICH HAS FALLEN DOWN CORES SHALL BE SATISFACTORILY CLEANED OUT AND INSPECTED BY THE ENGINEER PRIOR TO GROUTING.
14. COMPACTION OF GROUT SHALL BE BY VIBRATION OR RODDING WITH A ROD NOT LESS THAN 25mm DIAMETER.
15. REINFORCEMENT IN MASONRY SHALL BE UNCOATED CARBON STEEL AND COMPLY WITH THE REQUIREMENTS OF AS4671.
16. ALL MASONRY CAPPING BLOCKS ARE TO BE FIXED USING AN APPROVED CONSTRUCTION ADHESIVE. MORTAR JOINING SHALL NOT BE PERMITTED.
17. NO HOLES OR CHASES SHALL BE CUT INTO BLOCKWORK/BRICKWORK WITHOUT PRIOR APPROVAL OF THE ENGINEER.
18. ALL STARTER BARS ARE TO BE TIED TO FOUNDATION REINFORCING PRIOR TO POUR. WET SET IS NOT PERMITTED.
19. ALL REINFORCEMENT SHALL HAVE MASONRY BAR CHAIRS OR BE TIED INTO POSITION TOP AND BOTTOM FOR BLOCKWORK.

AMENDMENTS

ISSUE	DATE	SUBJECT	AUTHORISED
P1	02.07.25	FOR APPROVAL	PAP

**Queensland Government**

Department of
Energy and Public Works

On behalf of:
Department of Housing

**AUSCO MODULAR**

103 Riverview Rd, Riverview, QLD 4303

**STP CONSULTANTS**
STP Project No.: STP24-0929: 93485

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DISCIPLINE TEAM LEADER	DATE
PAP	RPEQ: 13231
	01.07.2025
AUTHORISED FOR ISSUE	DATE

**TRANCHE 1
INTER-ALLOTMENT
DRAINAGE**

GARDEN STREET, COOKTOWN

PROJECT NOTES
- SHEET 2

SCALE: AT
A1 SIZE

MASTER SITE NUMBER

CLIENT REFERENCE NUMBER

DRAWING NUMBER

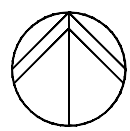
ISSUE

SHEET NO

93485 /SITE/DD/C00.03

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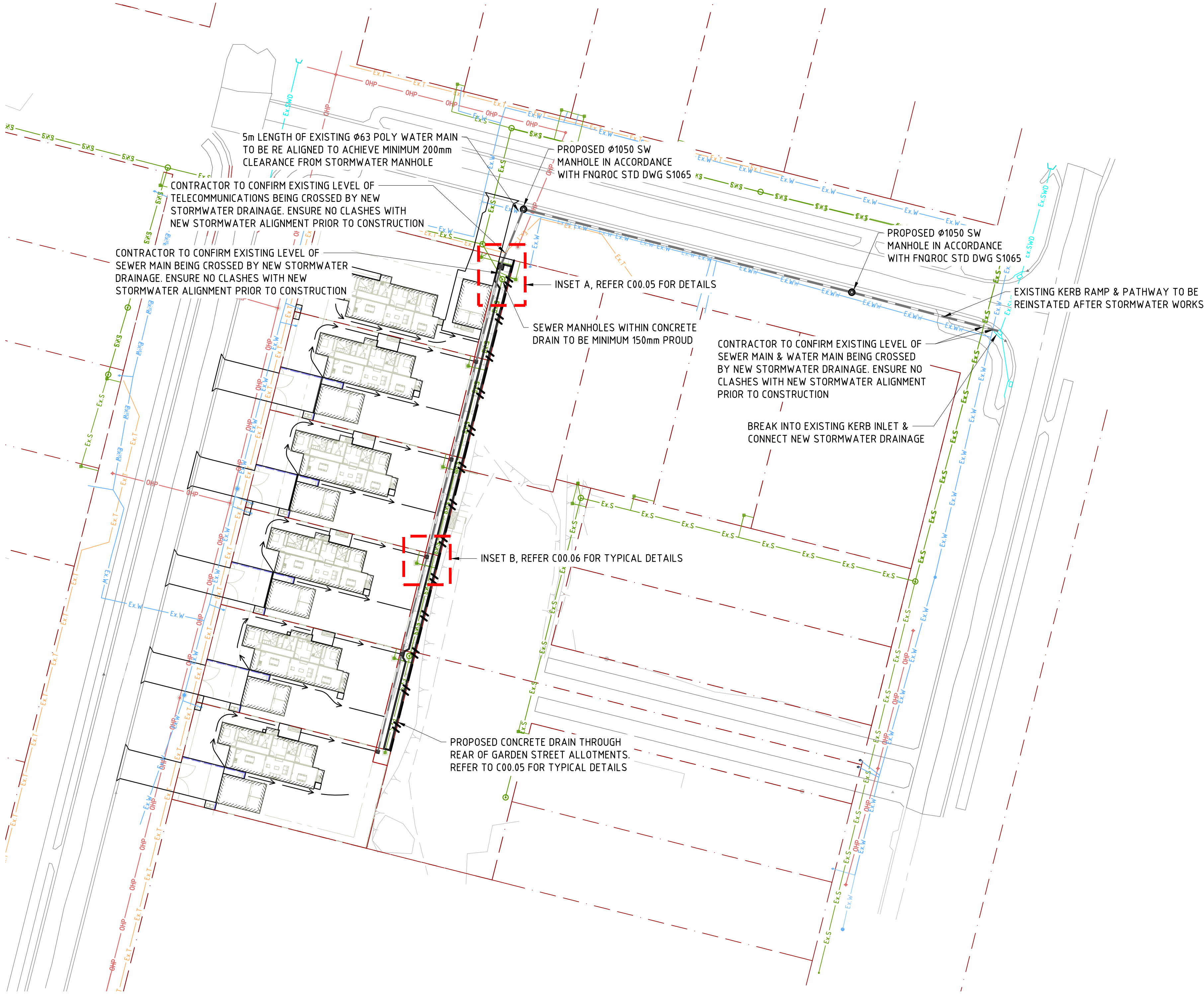


NOTES:

FOR OVERARCHING NOTES REFER PROJECT NOTES.

LEGEND:

- Ex.OHP Ex.OHP EXISTING OVERHEAD ELECTRICITY
- Ex.T Ex.T EXISTING UNDERGROUND TELECOMMUNICATIONS
- Ex.W Ex.W EXISTING WATER MAIN
- Ex.SWD Ex.SWD EXISTING STORMWATER DRAINAGE
- Ex.S Ex.S EXISTING SEWER MAIN
- EXISTING LOT BOUNDARY
- EXISTING LOT EASEMENT
- EXISTING ROAD CENTRELINE
- EXISTING TOE OF BATTER
- EXISTING TOP OF BATTER
- PROPOSED OVERLAND FLOW
- PROPOSED BUILDING
- PROPOSED STORMWATER DRAINAGE, REFER STORMWATER LAYOUT PLAN FOR DETAILS



ATTENTION: FOR BEST RESULTS AND ACCURATE UNDERSTANDING OF THESE DRAWINGS, PLEASE PRINT IN COLOUR.

LEVEL DATUM
OPM 92559
LEVEL DATUM RL.11391 AHD DERIVED

FOR INFORMATION ONLY

AMENDMENTS

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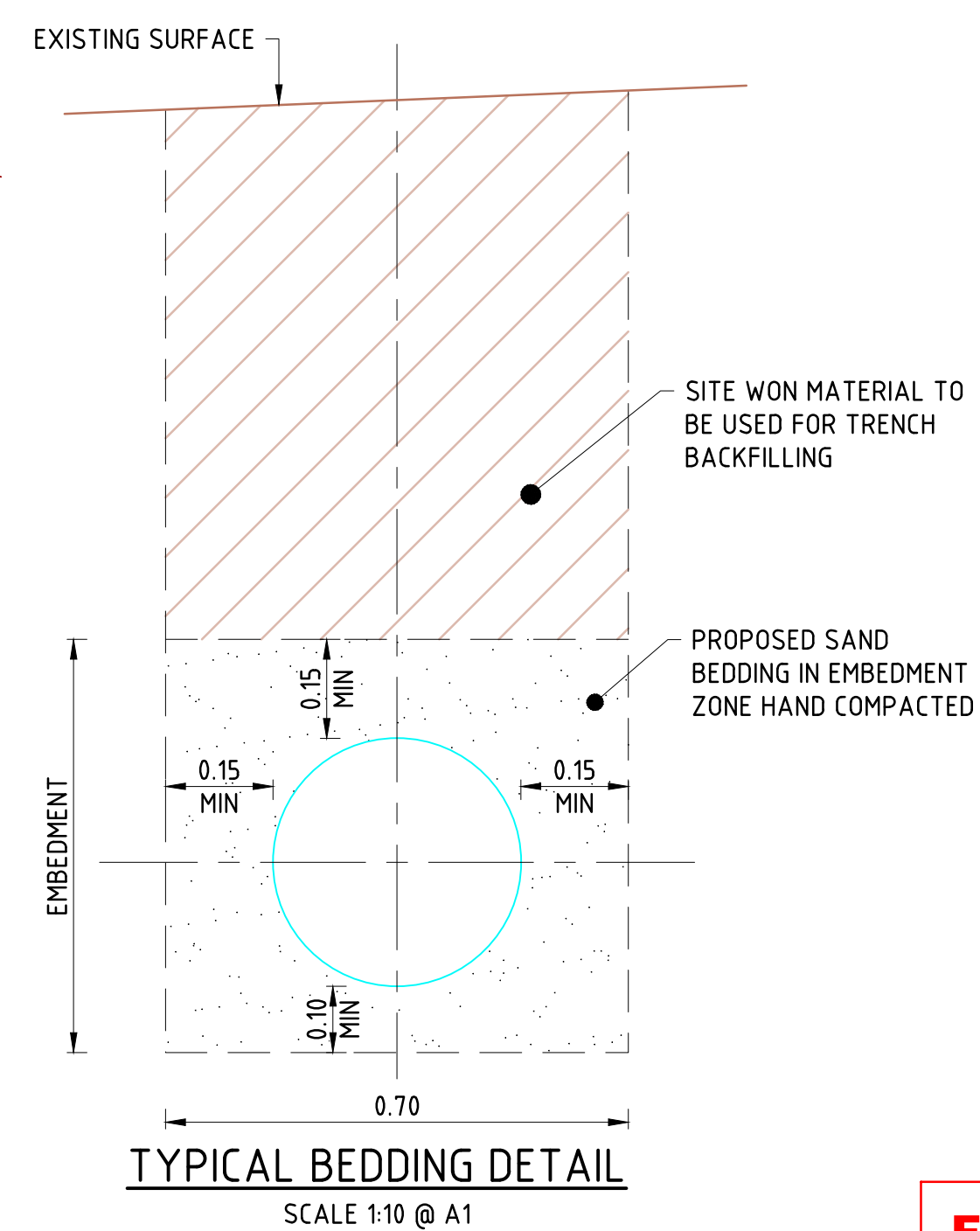
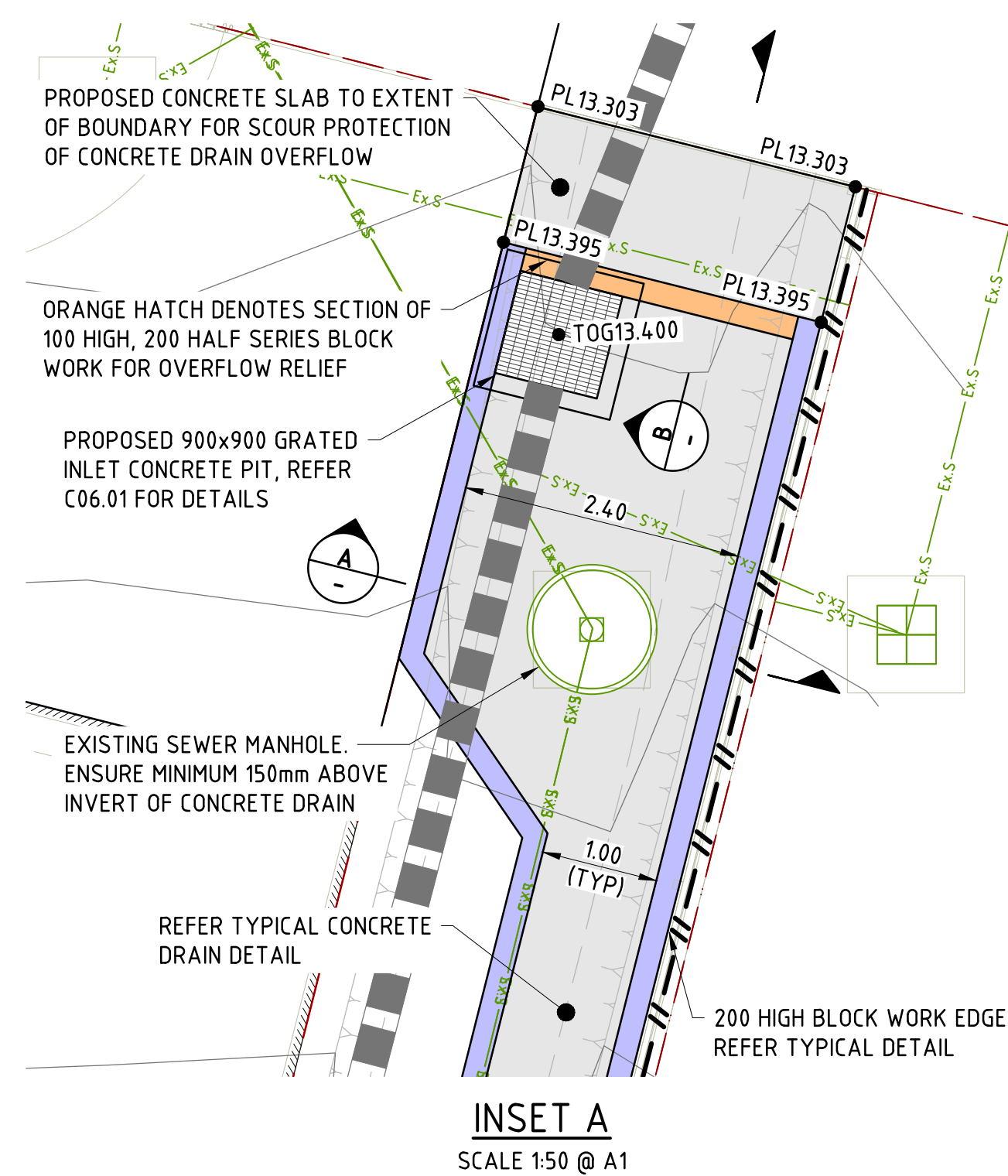
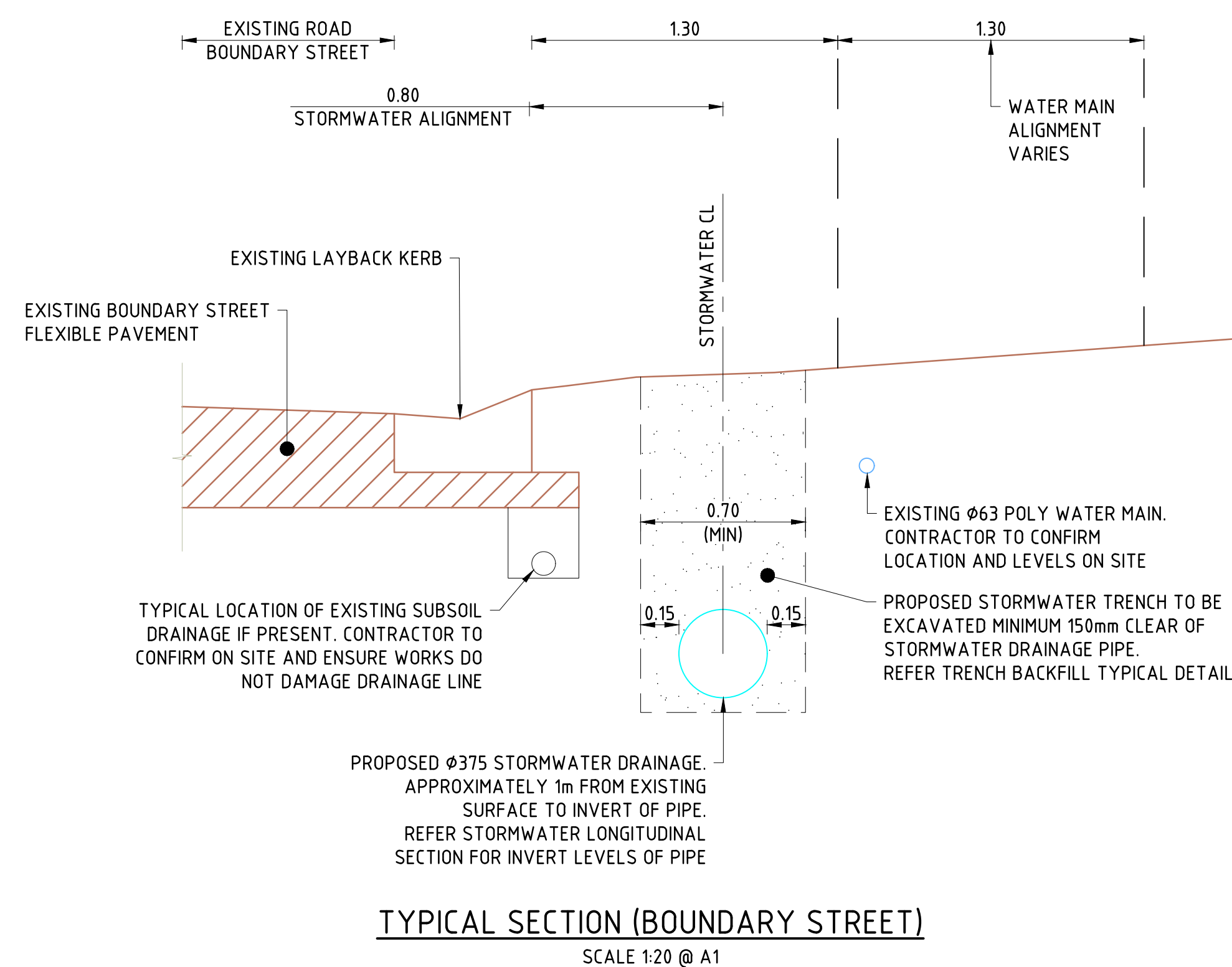
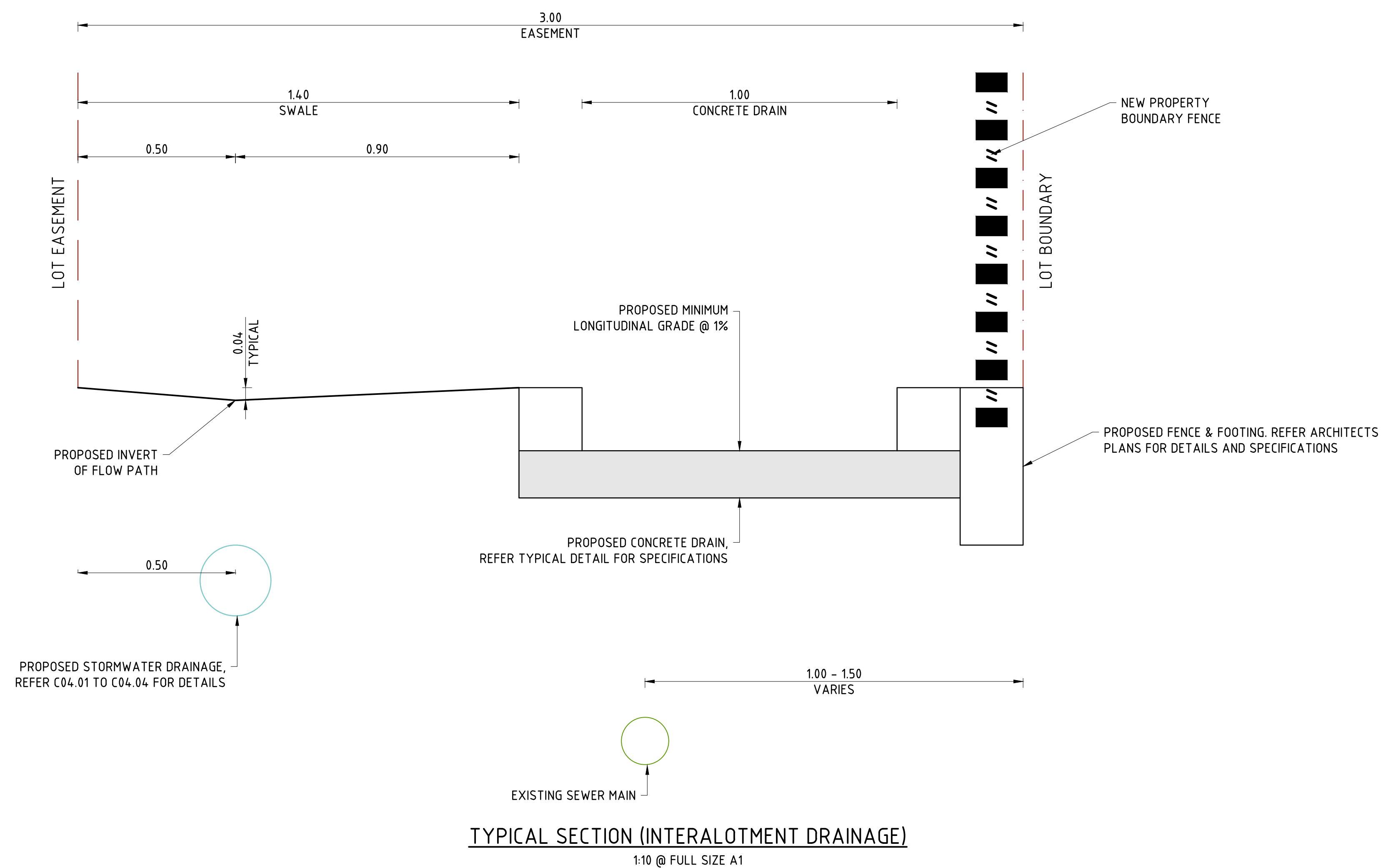
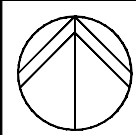
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**TRANCHE 1
INTER-ALLOTMENT
DRAINAGE**
GARDEN STREET, COOKTOWN

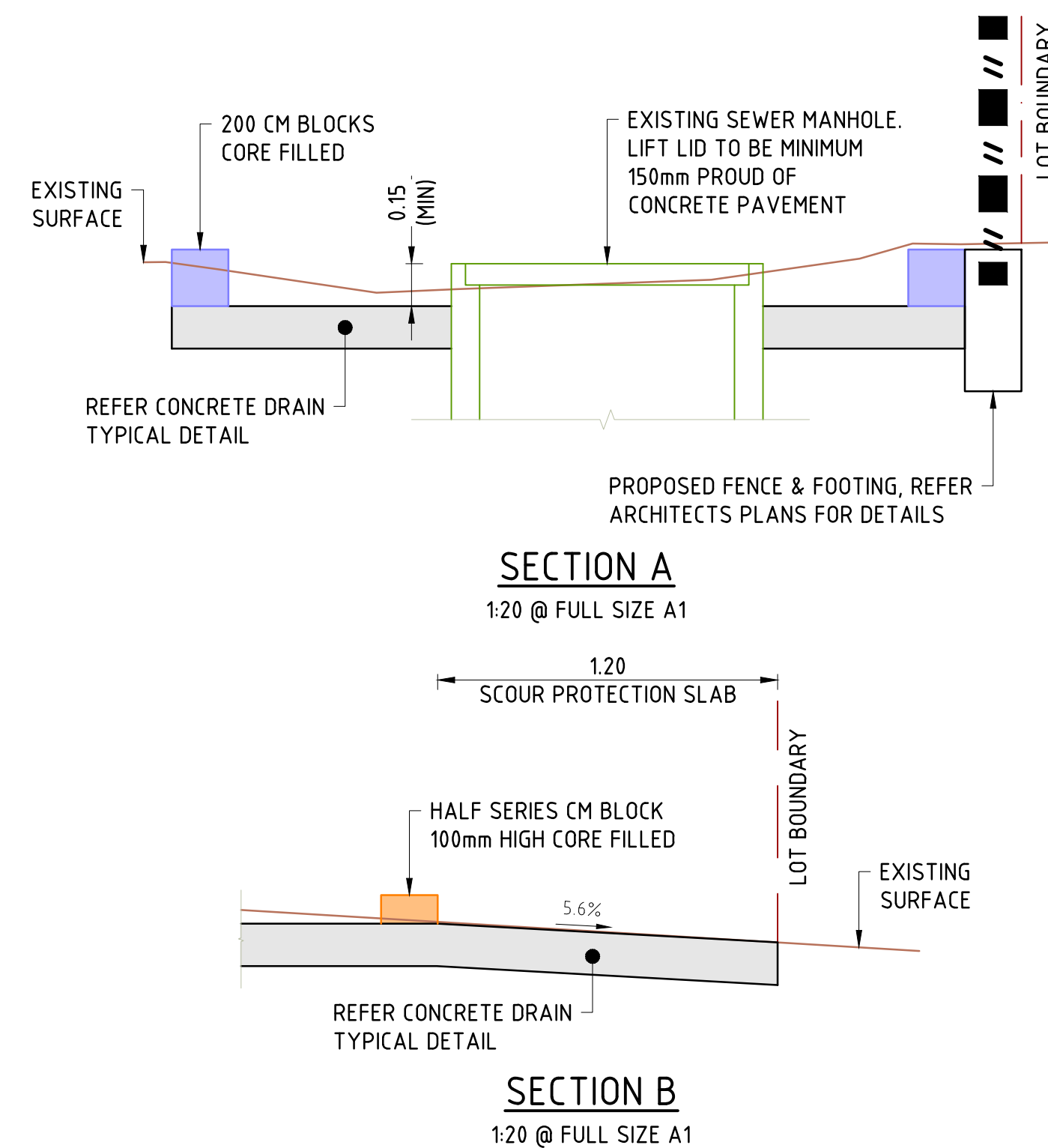
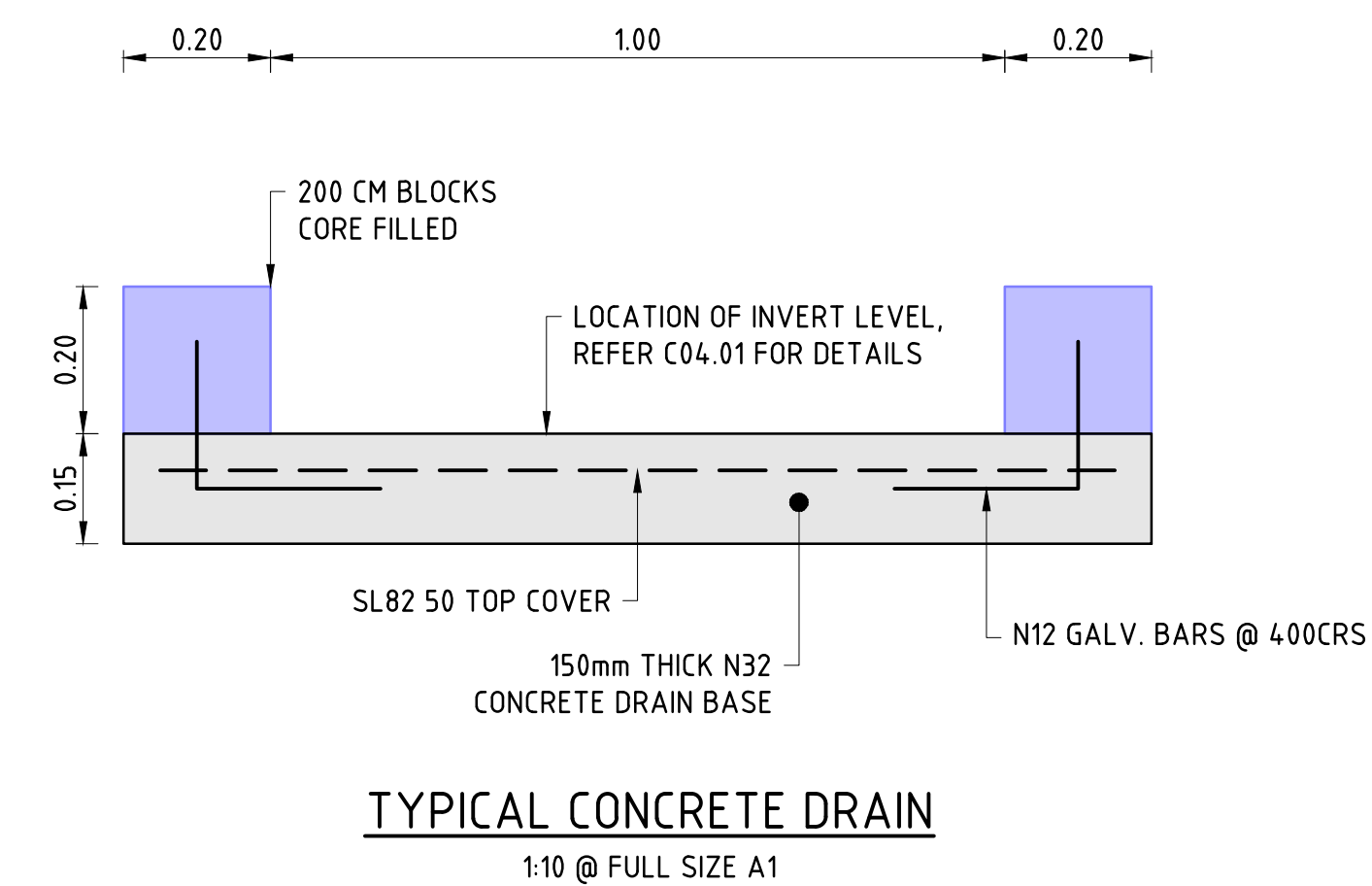
GENERAL ARRANGEMENT
LAYOUT PLAN

SCALE 1:500 0 5 10 15 AT A1 SIZE	MASTER SITE NUMBER	CLIENT REFERENCE NUMBER
DRAWING NUMBER 93485 /SITE/DD/C00.04	ISSUE P1	SHEET NO



NOTES:

FOR OVERARCHING NOTES REFER PROJECT NOTES.



ATTENTION: FOR BEST RESULTS AND ACCURATE UNDERSTANDING OF THESE DRAWINGS, PLEASE PRINT IN COLOUR.

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[illegible]

Department of
Energy and Public Works

On behalf of:
Department of Housing



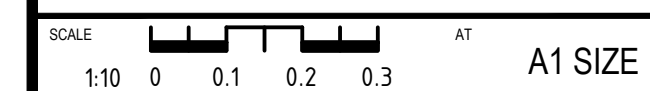
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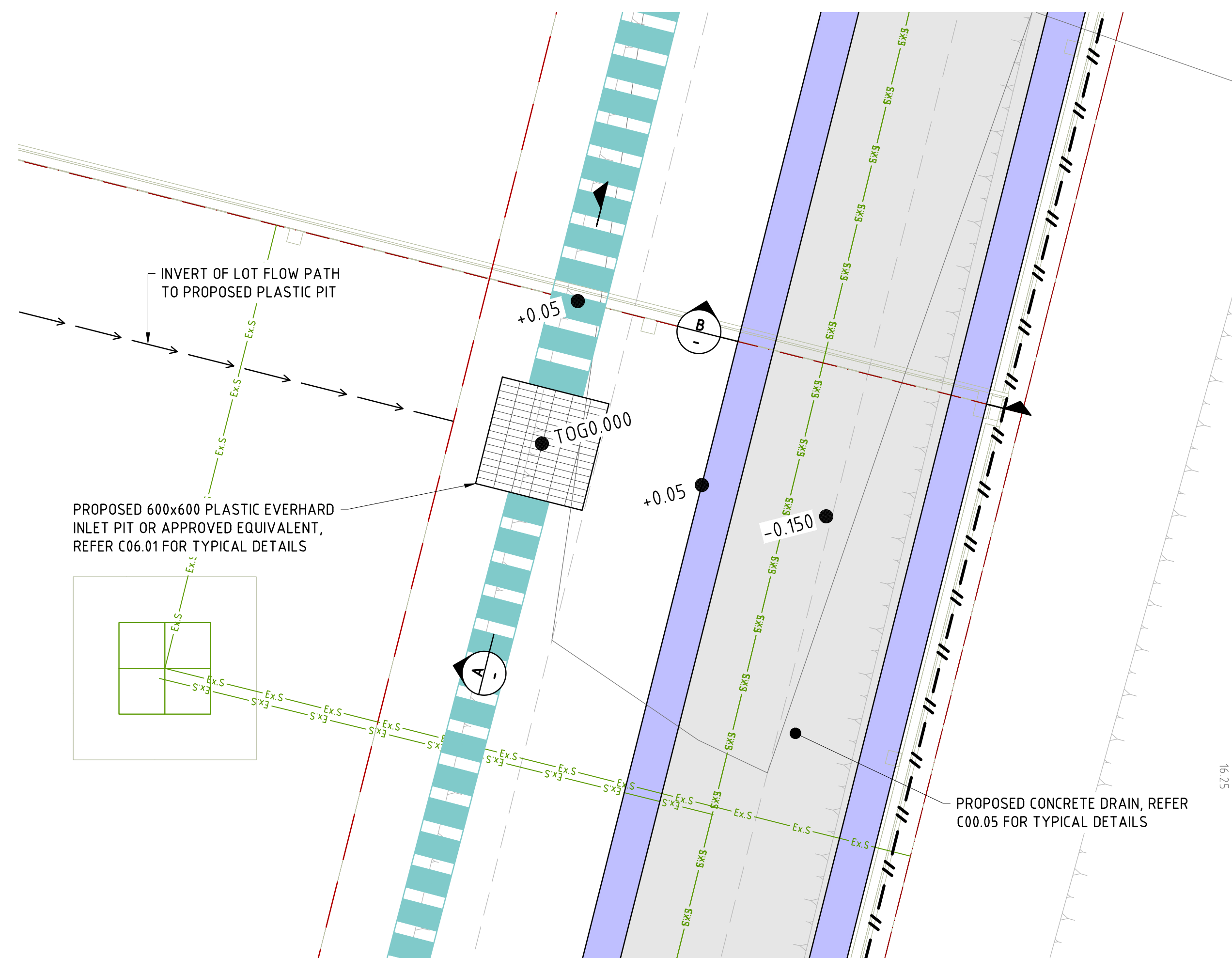
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TRANCHE 1 INTER-ALLOTMENT DRAINAGE

GARDEN STREET, COOKTOWN

TYPICAL SITE SECTIONS
- SHEET 1

MASTER SITE NUMBER		CLIENT REFERENCE NUMBER	
DRAWING NUMBER		ISSUE	SHEET NO
93485 / SITE / DD / C00.05		P1	



0.50 TYPICAL (MINIMUM)

EXISTING SURFACE

VARIES

INVERT OF FLOWPATH GRADES VARY. REFER C04.01 FOR TOP OF GRATE LEVELS

FINISHED SURFACE

10.0%

LOT BOUNDARY

PROPOSED STORMWATER DRAINAGE, REFER C04.01 TO C04.04 FOR INVERT LEVELS AND PIPE SIZES

PROPOSED 600x600 PE EVERHARD PIT OR APPROVED EQUIVALENT. REFER C06.01 FOR TYPICAL DETAILS

PROPOSED STORMWATER DRAINAGE, REFER C04.01 TO C04.04 FOR INVERT LEVELS AND PIPE SIZES

0.20 1.00 0.20

PROPOSED 50x25 RHS FIXED TO BLOCKWORK
AT CONCRETE DRAIN CROSSING BOUNDARY

FOR DRAIN, REFER TO
DETAILS

ATTENTION: FOR BEST RESULTS AND ACCURATE UNDERSTANDING OF THESE DRAWINGS, PLEASE PRINT IN COLOUR.

AMENDMENTS

[illegible]

On behalf of:
Department of Housing



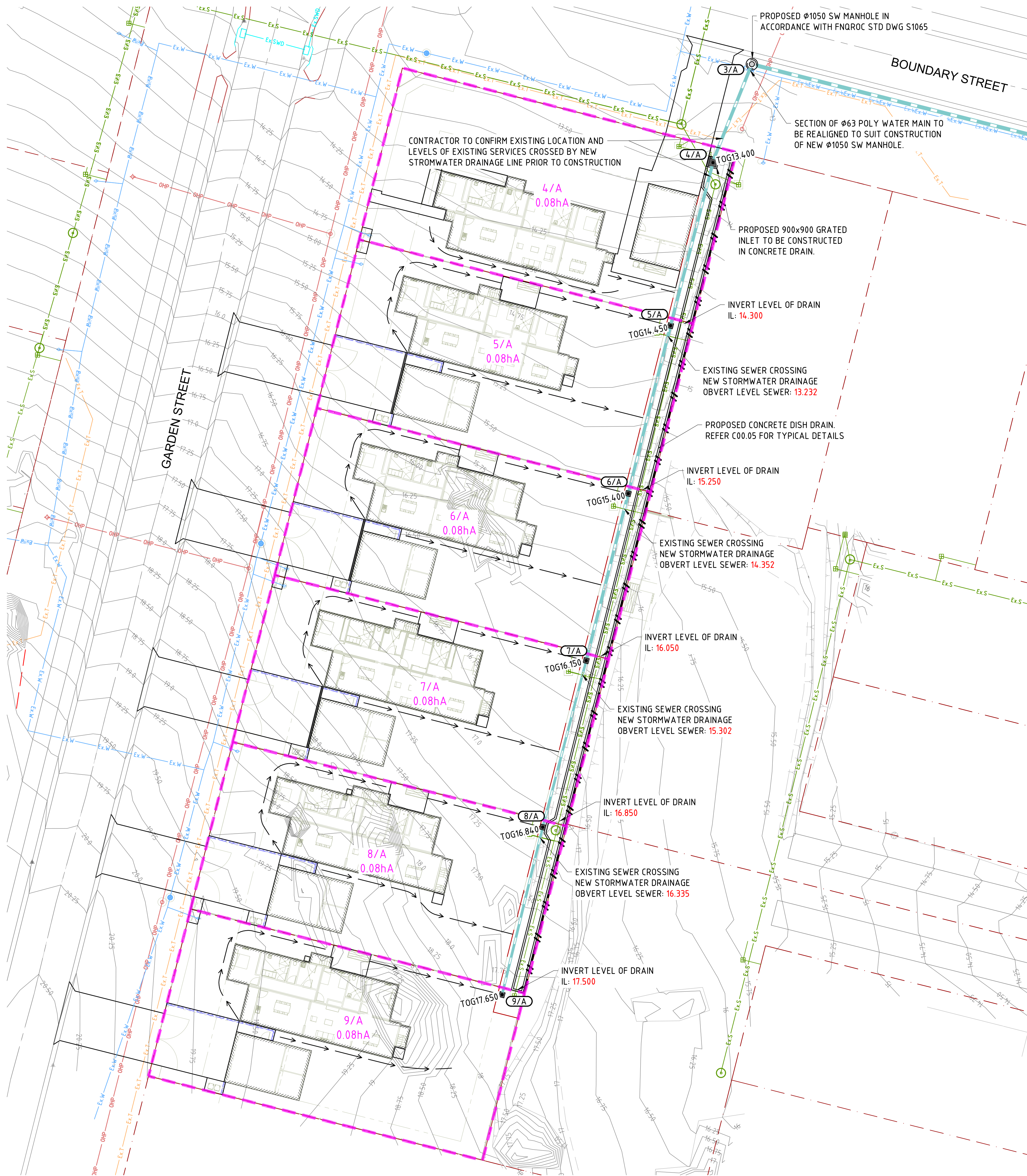
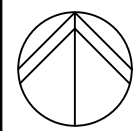
HJD	01.07.2025
DRAWN	DATE
HJD	01.07.2025
DISCIPLINE TEAM LEADER	DATE
PAP	RPEQ: 13231
	01.07.2025
AUTHORISED FOR ISSUE	DATE

**TRANCHE 1
INTER-ALLOTMENT
DRAINAGE**

GARDEN STREET, COOKTOWN

TYPICAL SITE SECTIONS
- SHEET 2

SCALE		AT		A1 SIZE	
MASTER SITE NUMBER			CLIENT REFERENCE NUMBER		
DRAWING NUMBER			ISSUE	SHEET NO	
93485 / SITE / DD / C00.06			P1		



NOTES:

FOR OVERARCHING NOTES REFER PROJECT NOTES.

LEGEND:

- Ex.OHP Ex.OHP EXISTING OVERHEAD ELECTRICITY
- Ex.T Ex.T EXISTING UNDERGROUND TELECOMMUNICATIONS
- Ex.W Ex.W EXISTING WATER MAIN
- Ex.SWD Ex.SWD EXISTING STORMWATER DRAINAGE
- Ex.S Ex.S EXISTING SEWER MAIN
- EXISTING LOT BOUNDARY
- EXISTING LOT EASEMENT
- EXISTING ROAD CENTRELINE
- EXISTING TOE OF BATTER
- EXISTING TOP OF BATTER
- PROPOSED OVERLAND FLOW
- PROPOSED BUILDING
- PROPOSED STORMWATER DRAINAGE, REFER STORMWATER LAYOUT PLAN FOR DETAILS
- DENOTES CATCHMENT BOUNDARY
- DENOTES CATCHMENT LABEL
- DENOTES PIT NUMBER

X/X
0.000ha
X/X

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LEVEL DATUM

OPM 92559
LEVEL DATUM RL.11391 AHD DERIVED

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AMENDMENTS

ISSUE	DATE	SUBJECT	AUTHORISED
P1	02.07.25	FOR APPROVAL	PAP



On behalf of:
Department of Housing



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TRANCHE 1 INTER-ALLOTMENT DRAINAGE

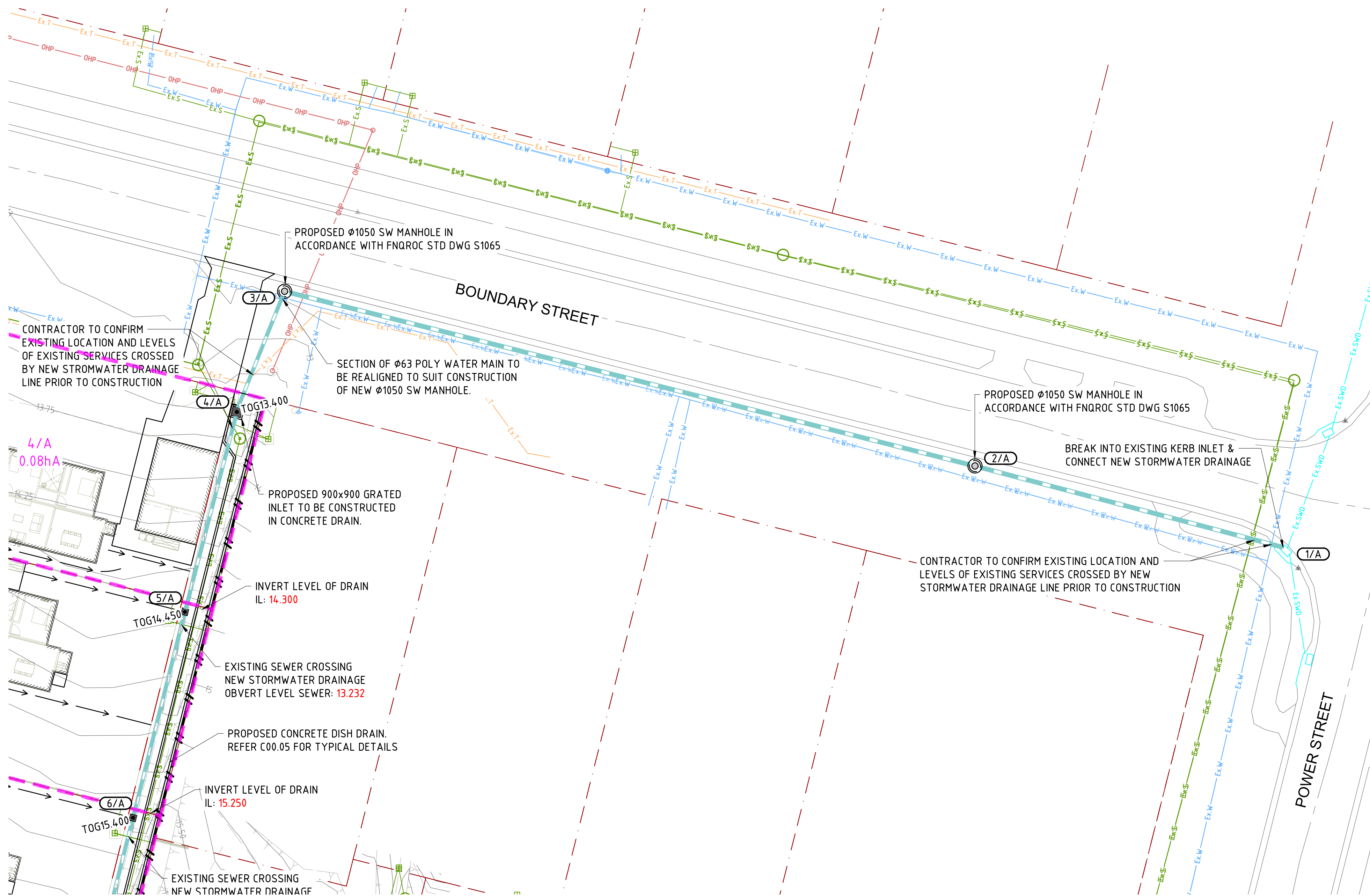
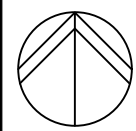
GARDEN STREET, COOKTOWN

STORMWATER DRAINAGE
LAYOUT PLAN - SHEET 1

SCALE 1:250 0 2.5 5 7.5 AT A1 SIZE

MASTER SITE NUMBER CLIENT REFERENCE NUMBER

DRAWING NUMBER	ISSUE	SHEET NO
93485 / SITE / DD / C04.01	P1	



FOR CONTINUATION REFER TO C04.01

NOTES:

FOR OVERARCHING NOTES REFER PROJECT NOTES.

LEGEND:

- Ex.OHP Ex.OHP EXISTING OVERHEAD ELECTRICITY
- Ex.T Ex.T EXISTING UNDERGROUND TELECOMMUNICATIONS
- Ex.W Ex.W EXISTING WATER MAIN
- Ex.SWD Ex.SWD EXISTING STORMWATER DRAINAGE
- Ex.S Ex.S EXISTING SEWER MAIN
- EXISTING LOT BOUNDARY
- EXISTING LOT EASEMENT
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- EXISTING TOE OF BATTER
- EXISTING TOP OF BATTER
- PROPOSED OVERLAND FLOW
- PROPOSED BUILDING
- PROPOSED STORMWATER DRAINAGE, REFER STORMWATER LAYOUT PLAN FOR DETAILS
- DENOTES CATCHMENT BOUNDARY
- DENOTES CATCHMENT LABEL
- DENOTES PIT NUMBER

AMENDMENTS

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Department of
Energy and Public Works

On behalf of:
Department of Housing



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DISCIPLINE TEAM LEADER	DATE
PAP	RPEQ: 13231
AUTHORISED FOR ISSUE	01.07.2025
	DATE

TRANCHE 1
INTER-ALLOTMENT
DRAINAGE

GARDEN STREET, COOKTOWN

STORMWATER DRAINAGE
LAYOUT PLAN - SHEET 2

SCALE 1:250 0 2.5 5 7.5 AT A1 SIZE

MASTER SITE NUMBER CLIENT REFERENCE NUMBER

DRAWING NUMBER ISSUE SHEET NO
93485 /SITE/DD/C04.02 P1

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LEVEL DATUM

OPM 92559
LEVEL DATUM RL.11391 AHD DERIVED

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BILL OF QUANTITIES

Project	TRANCHE 1 - LOT 14-19 GARDEN STREET, COOKTOWN
Job No.	STP24-0929
Date	28-Jul-25
BOQ Rev.	A
Drawings Rev.	

CONSTRUCTION COST SUMMARY

SECTION	ITEM		AMOUNT
1	PRELIMINARIES		\$7,000
2	ROADWORKS		\$47,280
3	STORMWATER RETICULATION		\$89,870
SUB TOTAL (EXCLUSIVE OF GST)			\$144,150
GST			\$14,415
TOTAL			\$158,565

QUANTITIES ILLUSTRATED HEREIN ARE ESTIMATES FOR TENDERERS INFORMATION ONLY. TENDERERS ARE REMINDED THAT THIS IS A LUMP SUM CONTRACT AND ALL QUANTITIES MUST BE CONFIRMED BY THE TENDERER IN THEIR TENDER SUBMISSION.

ITEM NO.	DESCRIPTION	UNIT	QUANTITY	RATE	TOTAL
SECTION 1 : PRELIMINARIES					
1.1	Site establishment & disestablishment	Item	1	2000.00	\$ 2,000.00
1.2	Location of existing services via Hydro-excavation (Prov Qty).	Item	1	1000.00	\$ 1,000.00
1.3	Prepare, submit and undertake traffic management plan in accordance with project authority	Item	1	1500.00	\$ 1,500.00
1.4	Prepare, submit and undertake Workplace Health and Safety Management plan in accordance with project authority	Item	1	1000.00	\$ 1,000.00
1.5	Insurance	Item	1	1500.00	\$ 1,500.00
TOTAL SECTION 1 PRELIMINARIES					\$ 7,000.00

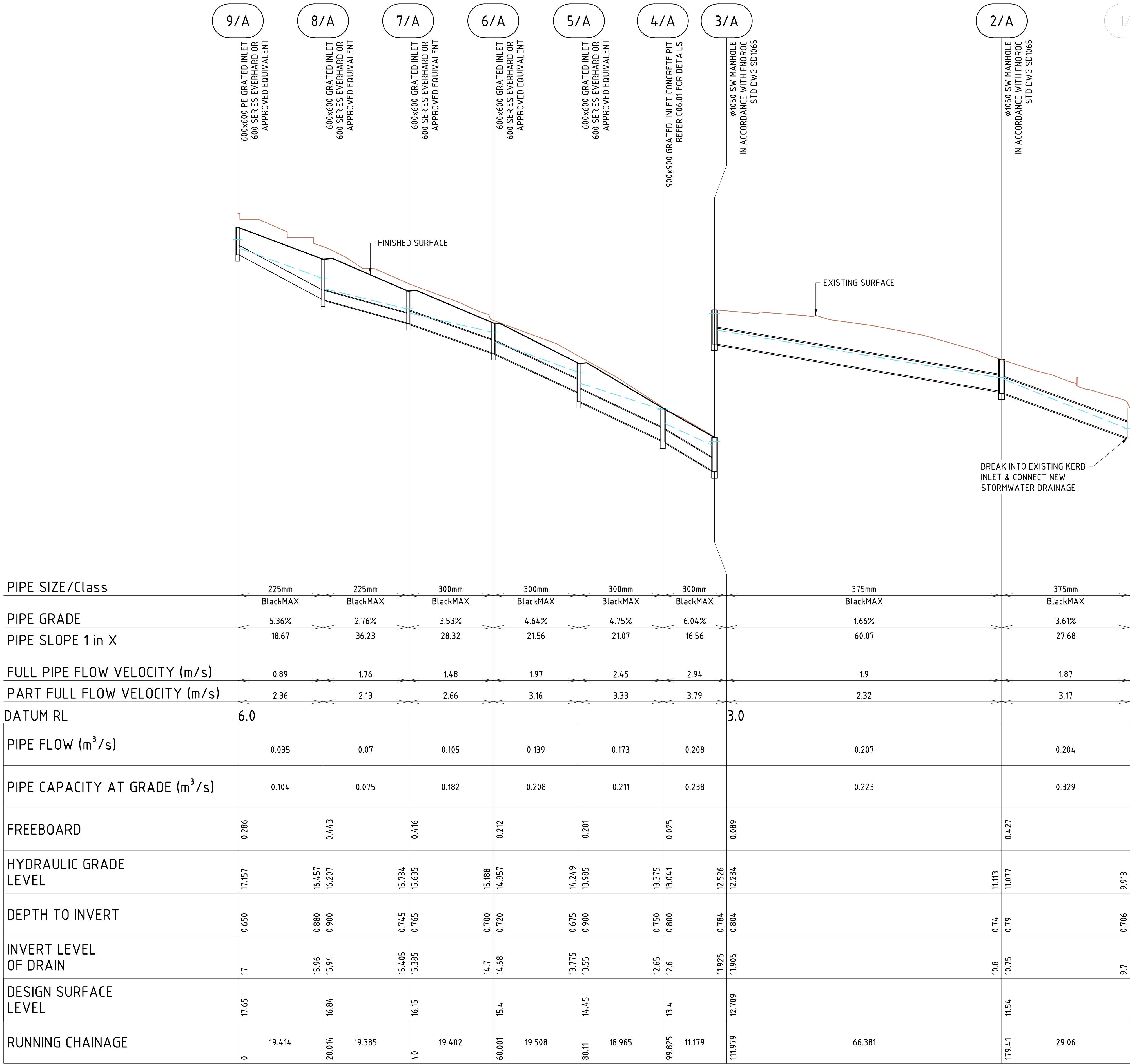
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ITEM NO.	DESCRIPTION	UNIT	QUANTITY	RATE	TOTAL
SECTION 2 : ROADWORKS					
2.1	Provision for Traffic	Item	1	1,500.00	\$ 1,500.00
2.2	Roll, grade and trim subgrade	m ²	108	2.50	\$ 270.00
2.3	Concrete pavement as specified, complete including supply, broom, jointing, reinforcement, lay, compaction and testing. (a) 150mm Thick, N32, SL82 Mesh	m ²	108	120.00	\$ 12,960.00
2.4	Construct Driveway Crossover in accordance with FNQROC STD DWG S1015	No	6	5,000.00	\$ 30,000.00
2.5	200mm CM Blocks core filled complete in accordance with design drawings	m	204	12.50	\$ 2,550.00
TOTAL SECTION 2 ROADWORKS					\$ 47,280.00

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ITEM NO.	DESCRIPTION	UNIT	QUANTITY	RATE	TOTAL
SECTION 3 : STORMWATER DRAINAGE					
3.1	Supply, lay and joint BlackMAX PE pipes, including trench excavation, bedding and surround sand, backfill, compaction and disposal of spoil as specified:-				
	(a) 225mm dia	m	39	250.00	\$ 9,750.00
	(b) 300mm dia	m	69	300.00	\$ 20,700.00
	(c) 375mm dia	m	95	375.00	\$ 35,625.00
3.2	Crusher dust backfill to stormwater pipes under road pavements as specified.	m	203	15.00	\$ 3,045.00
3.3	Construct manholes complete including excavation, covers, etc				
	(a) 1050 dia in accordance with FNQROC standard drawing sd1065	No	2	6,500.00	\$ 13,000.00
3.4	Construct Grated Field Inlet pits complete including excavation, galvanised grates and reinforcing.				
	(a) 900x900	No	1	4,000.00	\$ 4,000.00
3.5	Supply and install PE pits complete including excavation, galvanised grates and concrete.				
	(a) 600x600	No	5	750.00	\$ 3,750.00
TOTAL SECTION 3 STORMWATER DRAINAGE					\$ 89,870.00

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LEVEL DATUM
OPM 92559
LEVEL DATUM RL.11391 AHD DERIVED

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AMENDMENTS

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Department of
Energy and Public Works

On behalf of:
Department of Housing



103 Riverview Rd, Riverview, QLD 4303



STP Project No.: STP24-0929: 93485

BRISBANE
07 3539 8300
TOWNSVILLE
07 3539 8350
CAIRNS
07 3539 8300

MACKAY
07 3539 8300
ROCKHAMPTON
07 3539 8344
WHITSUNDAYS
07 3539 8300

www.stpconsultants.com.au

HJD 01.07.2025

DRAWN DATE

HJD 01.07.2025

DISCIPLINE TEAM LEADER DATE

PAP RPEQ: 13231

01.07.2025

AUTHORISED FOR ISSUE DATE

TRANCHE 1
INTER-ALLOTMENT
DRAINAGE

GARDEN STREET, COOKTOWN

STORMWATER LONGITUDINAL
SECTION

SCALE AT A1 SIZE

MASTER SITE NUMBER CLIENT REFERENCE NUMBER

DRAWING NUMBER ISSUE SHEET NO

93485 /SITE/DD/C04.03

P1



On behalf of:
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DRAWN DATE

DISCIPLINE TEAM LEADER _____ DATE _____

 01.07.2025

GARDEN STREET, COOKTOWN

SCALE AT A1 SIZE

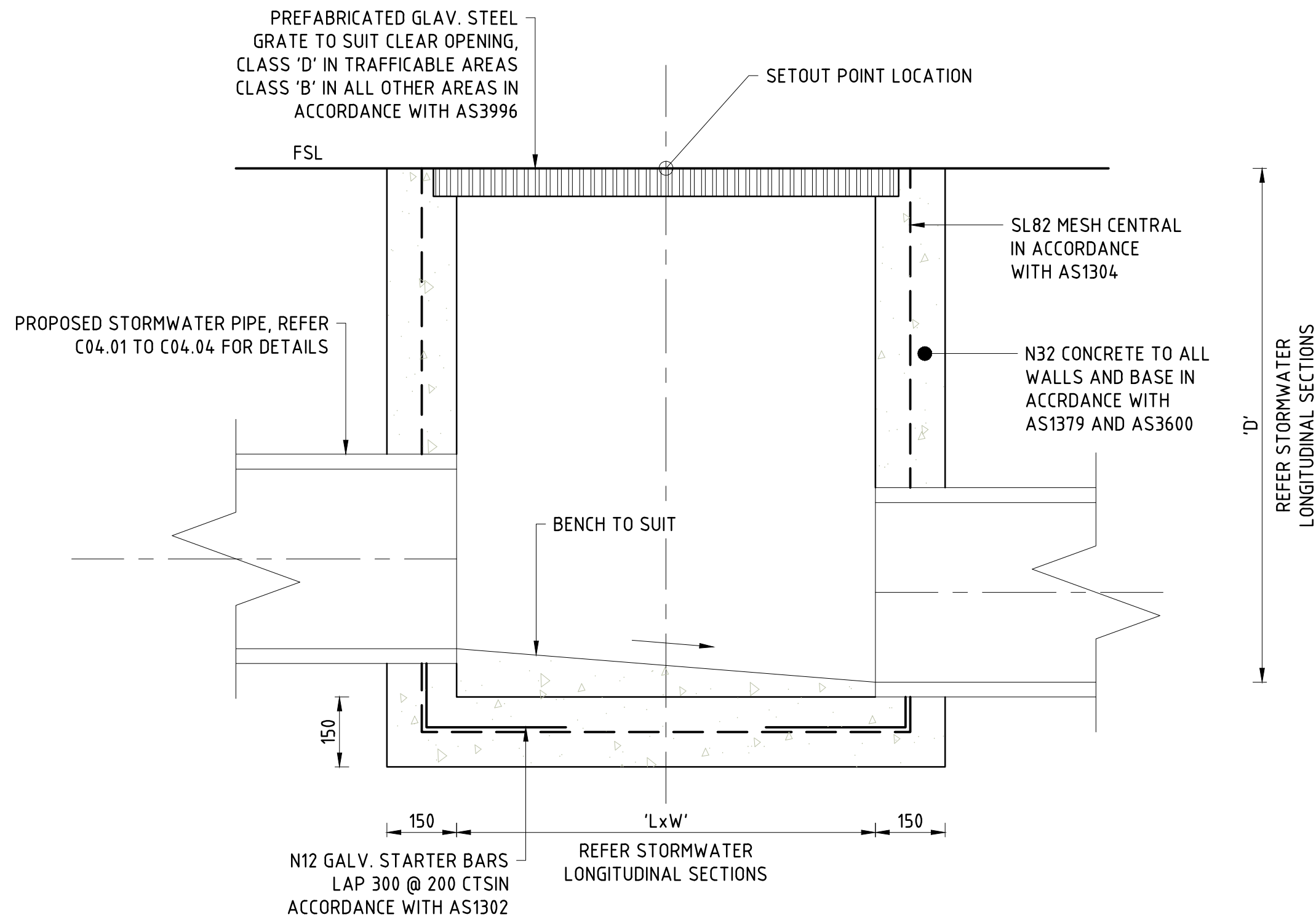
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DRAWING NUMBER	ISSUE	SP
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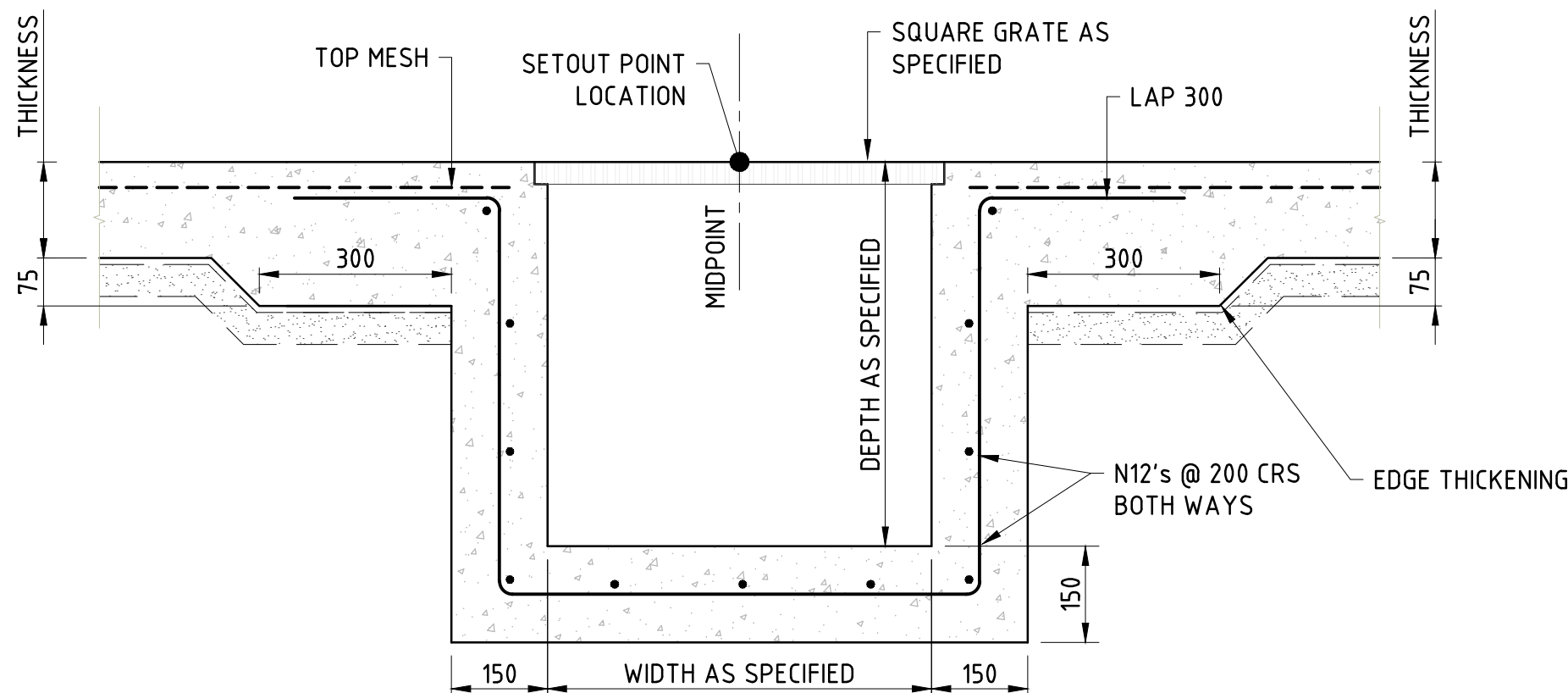
93485 / SITE / DD / C04 04 | P1

P1

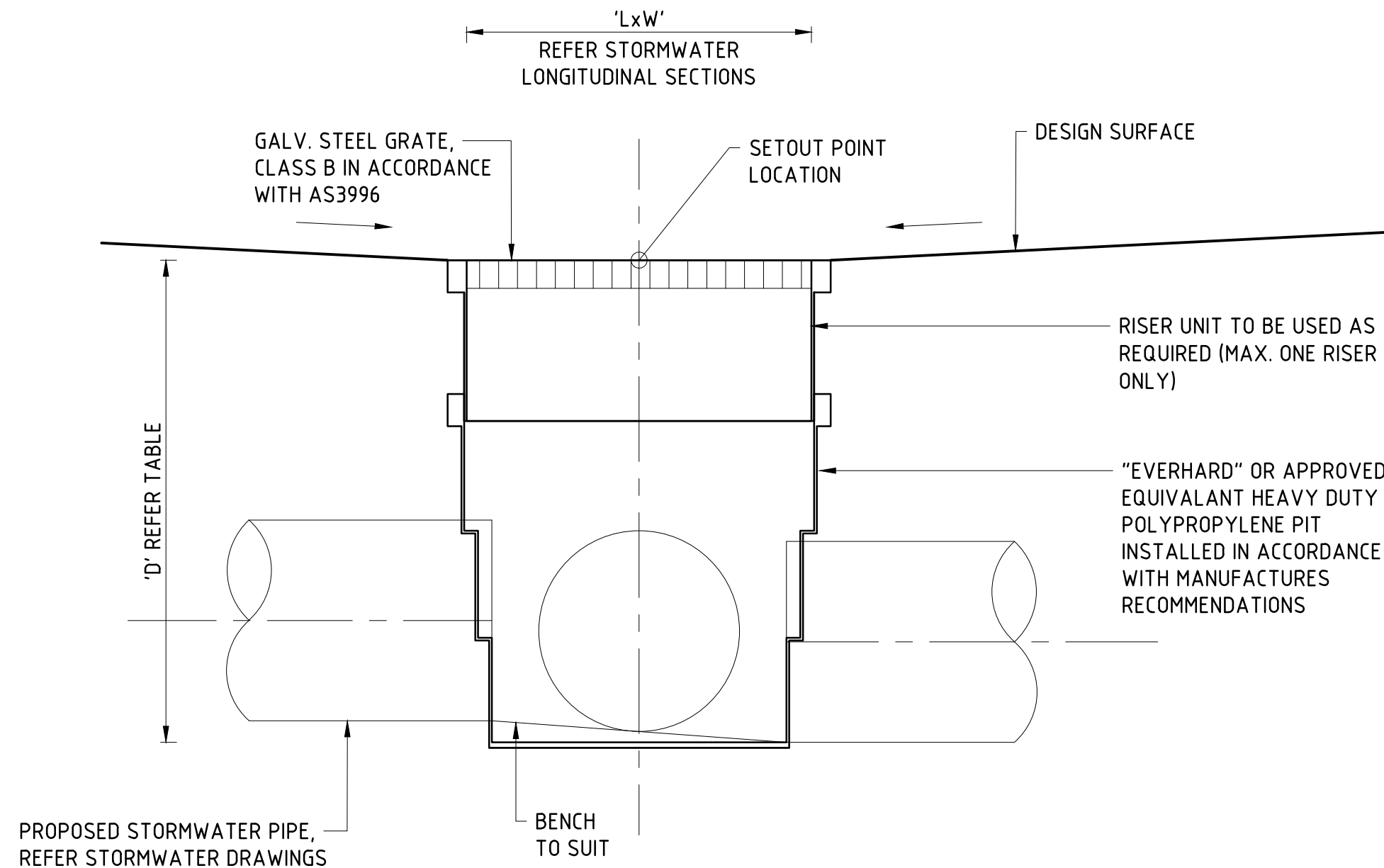
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TYPICAL SECTION
GRADED INLET PIT
SCALE 1:10 @ A1



PIT IN PAVEMENT DETAIL
SCALE 1:10 @ A1



TYPICAL DETAIL
ROOFWATER PIT
SCALE 1:10 @ A1

MAXIMUM DEPTHS FOR
ROOFWATER PITS

'D' MAX (mm)	'LxW' (mm)
<600	450x450
>600 ≤900	600x600
>900 ≤1200	900x900

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TRANCHE 1
INTER-ALLOTMENT
DRAINAGE

GARDEN STREET, COOKTOWN

MISCELLANEOUS DETAILS

SCALE	AT	A1 SIZE
MASTER SITE NUMBER	CLIENT REFERENCE NUMBER	
DRAWING NUMBER	ISSUE	SHEET NO
93485 / SITE / DD / C06.01	P1	

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