

Our Ref: TT: lmc:DA/4590 AD2024/0005054
Your Ref: K-9168

29 August 2024

Euan Bruce
MTC Tower Pty Ltd
c/- KFB Engineers
PO Box 927
CAIRNS QLD 4870
E-mail: euan@kfbeng.com.au

Dear Mr Bruce

Decision Notice - Approval

Given under section 63 of the *Planning Act 2016*

With reference to Development Application (DA/4590), please find attached the relevant Decision Notice, which was approved by Cook Shire Council in full, subject to conditions.

Details of the decision are as follows:

Decision Details

Date of Decision: Council approved the Development Application by delegation to the Chief Executive Officer on **29 August 2024**.

Approval Details: **Approved in full** with conditions. These conditions are set out in Attachment 1 and are clearly identified to indicate whether the assessment manager or concurrence agency imposed them.

Application Details

Application Number: DA/4590

Approval Sought: Development Permit for Operational Works

Description of the Development: Associated with Reconfiguring a Lot (1 into 12 Lots)

Category of Development: Assessable Development

Category of Assessment: Code Assessment

Planning Scheme: Cook Shire Council Planning Scheme 2017 v2.0

Location Details

Street Address: 2 Hope Street COOKTOWN 4895

Real Property Description: Lot 23 on SP219110

Local Government Area: Cook Shire

Assessment Manager Conditions

This approval is subject to the conditions in **Attachment 1**.

Further Development Permits

Not Applicable.

Properly Made Submissions

Not applicable - no part of the application required public notification.

Referral Agencies

Not applicable - no part of the application required referral.

Variation approval details

Not Applicable

Other requirements under section 43 of the *Planning Regulation 2017*

Not Applicable.

Approved Plans and Specifications

Copies of the approved plans, specifications and/or drawings are enclosed in **Attachment 2**.

Currency Period for the Approval

The currency period for this application is *two (2) years*. Should the approved use not commence within this time, the approval shall lapse as set out in section 85 of the *Planning Act 2016*.

Lapsing of approval if development started but not completed

In accordance with section 88(1) of the *Planning Act 2016*, a development approval, other than a variation approval, for development lapses to the extent the development is not completed within any period or periods required under a development condition.

Rights of Appeal

You are entitled to appeal against this decision. A copy of the relevant appeal provisions from the *Planning Act 2016* are provided in Attachment 4 of this Decision Notice.

Other Details

Council relies on the accuracy of information included in the application documentation when assessing and deciding applications.

If you find an inaccuracy in any of the information provided above, have a query, or need to seek clarification about any of these details, please contact Cook Shire Council's Planning and Environment Department on 07 4082 0500 or E-mail: mail@cook.qld.gov.au.

Yours sincerely

Brian Joiner
Chief Executive Officer

enc:	Attachment 1	Conditions Imposed by the Assessment Manager
	Attachment 2	Approved Plans (D24/34473)
	Attachment 3	Notice of Decision – Statement of Reasons (AD2024/0005055)
	Attachment 4	Extract of Appeal Provisions (Chapter 6 part 1 of the <i>Planning Act 2016</i>)

Attachment 1 - Conditions Imposed by the Assessment Manager (Cook Shire Council)

A. Assessment Manager (Council) Conditions

No.	Condition	Timing
GENERAL		
PARAMETERS OF APPROVAL		
1	COMPLIANCE WITH CONDITIONS The Developer is responsible for ensuring compliance with this development approval and the conditions of the approval by an employee, agent, contractor, or invitee of the Developer.	At all times
2	WORKS – APPLICANT’S EXPENSE The cost of all works associated with the development and construction of the development, including services, facilities and/or public utility alterations required are met at no cost to the Council or relevant utility provider, unless otherwise stated in a development condition.	At all times
3	INFRASTRUCTURE CONDITIONS All development conditions contained in this development approval about infrastructure under Chapter 4 of the <i>Planning Act 2016</i> (the Act), should be read as being non-trunk infrastructure conditioned under section 145 of the Act, unless otherwise stated.	At all times
4	WORKS – DEVELOPER’S EXPENSE The cost of all works associated with the development and construction of the development, including services, facilities and/or public utility alterations required are met at no cost to the Council or relevant utility provider, unless otherwise stated in a development condition.	At all times
5	WORKS - DAMAGE TO INFRASTRUCTURE The Developer must repair any damage to existing infrastructure that may have occurred during any works undertaken as part of the development. Any damage that is deemed to create a hazard to the community, must be repaired immediately.	At all times
6	WORKS – DESIGN & STANDARD Unless otherwise stated, all works must be designed, constructed, and maintained in accordance with the relevant Council policies, guidelines, and standards.	At all times
7	WORKS – SPECIFICATION & CONSTRUCTION All engineering drawings/specifications, design and construction works must comply with the requirements of the relevant Australian Standards and must be approved, supervised, and certified by a Registered Professional Engineer of Queensland (RPEQ).	At all times
8	APPROVED PLANS AND DOCUMENTS The development is to be completed and carried out generally in accordance with the following approved plans and reports submitted with the development application, except where modified by the conditions of this Development Permit.	As stated.

No.	Condition	Timing																																																			
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9	EROSION AND SEDIMENT CONTROL DRAWING The following drawing must form the basis of the Contractor's Erosion and Sediment Control Plan in accordance with the FNQROC Development Manual, Clause CP1.06. <table> <tr> <th>Title</th><th>DWG.</th><th>Rev</th></tr> <tr> <td>Erosion & Sediment Control Strategy</td><td>230-004-C13</td><td>C</td></tr> </table>	Title	DWG.	Rev	Erosion & Sediment Control Strategy	230-004-C13	C	As stated.																																													
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10	EARTHWORKS Earthworks are to be completed generally in accordance with the approved plans by KFB Engineers, maintaining a free draining surface with no ponding of standing water resulting. The following amendments are required to the earthworks extent shown on the drawings: - The earthworks extent shown on the drawings must be updated to include localised filling required for sewerage construction between Lots 8 and 9. - For lots in Stage 3, construct perimeter bunds along the downslope side boundaries of all lots to ensure runoff is directed to the lawful point of discharge for each lot. - For lots 2 to 6, the lawful point of discharge is the new internal road. - For Lots 8 to 12, the lawful point of discharge is the Catch Drain 2 at the rear of the lots.	As stated																																																			

No.	Condition	Timing
	c. The perimeter bunds must be a minimum of 300mm high and 300mm wide at the top and must be located inside the upslope lot. The “For Construction” drawings must be amended to show the perimeter bund locations and a cross-section detail included in the drawing set. The amended plans must be provided to the requirement and satisfaction of Council’s Manager Infrastructure prior to the Pre-Start Meeting. Works must not commence until the amended plans are endorsed by Council. Any further amendments proposed to the existing finished surface profiles are to be identified and reported to Council prior to being undertaken on site. Resultant amendments shall be recorded on as constructed drawings to be submitted at the completion of the project. The works must be completed to the requirement and satisfaction of Council’s Manager Infrastructure prior to Works Acceptance.	
11	TRAFFIC MANAGEMENT PLAN Prior to the Pre-Start Meeting, the Contractor must provide a Traffic Management Plan for hauling of materials to/from the development site in accordance with FNQROC Construction Plan CP1.09. Details must include how truck movements will be managed safely and with minimal disruption to road traffic including restriction on work in peak hours where appropriate. The Traffic Management Plan must be approved by Council’s Manager Infrastructure prior to works commencing on site.	Prior to the Pre-Start Meeting
12	ROAD CONDITION ASSESSMENT Prior to Commencement of the Works, the Contractor is to prepare a road condition report identifying the condition of the road surface and pavement infrastructure for Hope Street fronting the development site and Seagren Street extending 100m north from the Hope Street intersection. The report is to include photographs and notation to identify relevant existing defects or problems with the roadway. The report is to be provided prior to the Pre-Start Meeting. On completion of the works, the pavement infrastructure shall be subject to a joint inspection by the Developer and Council Officers. Where additional damage has occurred, all rectification works shall be at the Developer’s expense, to the satisfaction of Council’s Manager Infrastructure.	As stated
13	WATER SUPPLY AND SEWERAGE WORKS INTERNAL Undertake the following water supply and sewer works internal to the subject land: a. Construct water supply and sewerage works generally in accordance with KFB Engineers drawings to provide a single internal water supply	Prior to Council Approval of the Plan of Survey

No.	Condition	Timing
	and sewer connection to each lot in accordance with the FNQROC Development Manual. b. From the new internal sewer connection, extend a house drain to enable the connection of existing Lot 7 to the completed sewer reticulation. The house drain must be capped and staked for easy connection once the works have been tested and have successfully achieved Works Acceptance. c. Provide the conduit for water supply for the full length of the access leg for existing Lot 7. The conduit must be capped and staked at the road frontage of Lot 7 and at the end of the access leg for easy identification for the works acceptance inspection. d. Commission the water supply as per the FNQROC Development Manual procedures including, but not limited to, CP1.19, and provide the required Project Documentation per section CP1.25. e. Following successful testing and commissioning of the water supply reticulation system, and Works Acceptance inspection for the Council components, the existing house on Lot 7 must be connected to Council's water supply via the new internal reticulation and the previous water supply must be decommissioned and removed. All the above works must be designed and constructed in accordance with the FNQROC Development Manual. All works must be carried out in accordance with the approved plans to the requirements and satisfaction of Council's Manager Infrastructure prior to the Council approval of the Plan of Survey.	
14	The Developer is to ensure that the Contractor undertakes services location investigations prior to works commencing. The location and level of each crossing of the existing water mains or existing service must be surveyed by a licenced surveyor and the details included on the design plans. The Developer must provide confirmation to Council of the horizontal and vertical clearances to existing Council Assets. <i>Note: Clearance to assets for other service providers, (Telstra, Ergon, NBN) are to be confirmed with the respective service provider.</i> Where the resulting cover or clearances to water mains is less than the FNQROC minimum requirements, the designer is to identify relocate and/or lower the water main or nominate additional mechanical protection to the mains. Council's approval will be required for any work identified. All works must be identified and approved prior to works commencing adjacent to or above Council's existing water assets.	Prior to Commencement of Works
15	STORMWATER Stormwater drainage internal to the development must be constructed generally in accordance with the approved plans except where modified by	Prior to Works Acceptance

No.	Condition	Timing
	the conditions below, and must be completed to the satisfaction of the Council's Manager Infrastructure.	
16	Stormwater pipe class must be Class 4 unless pipe cover to the subgrade layer can achieve 600mm minimum. Culvert 2 must be amended to Class 4 and must have additional notation limiting compaction equipment over and adjacent this pipe. These amendments must be included on revised "For Construction" drawings submitted to Council.	Prior to the Pre-Start Meeting
17	Catch Drain 2 and the drainage easement must be extended into Lot 8 a distance of at least 3m to provide a lawful point of discharge to Lot 8.	Prior to Council Approval of the Plan of Survey
18	All stormwater from the land must be directed to a lawful point of discharge as per the approved plan(s) such that it does not adversely affect surrounding properties or properties downstream from the development, in accordance with the Queensland Urban Drainage Manual.	At all times
19	ROADS The new road internal to the development must be constructed generally in accordance with the approved plans and FNQROC Development Manual and must be completed to the satisfaction of the Council's Manager Infrastructure.	Prior to Works Acceptance
20	ALLOTMENT ACCESSES AND CROSSOVERS Construct a standard 3.0m wide crossover to Lot 7 in accordance with FNQROC Development Manual Standard Drawings S1015 and S1110.	Prior to Council Approval of the Plan of Survey
21	Construct a concrete driveway to existing Lot 7 extending from the kerb crossover to the nominated connection point with the existing driveway at approximate Chainage 37.56m. The Contractor must liaise with the owner and occupier of the residence on existing Lot 7 to agree to temporary access arrangements during construction of the works. Access via the new road is not permitted until satisfactory completion of the works acceptance process. Unless otherwise agreed with Council's Manager Infrastructure, the temporary access arrangement for Lot 7 must remain in place until the works are accepted by Council. The driveway and access crossover are to be located generally in accordance with approved plans by KFB Engineers. All works must be carried out to the requirements and satisfaction of the Council's Manager Infrastructure prior to Council approval of the Plan of Survey.	As stated
22	GENERAL WORKS EXTERNAL Undertake the following external works generally in accordance with the approved drawings by KFB Engineers: a. Seagren Street drainage works generally in accordance with Drawing K-9168 C16 Rev A except that the minimum height of the crown in	Prior to Council Approval of the Plan of Survey

No.	Condition	Timing
	the verge must be 300 mm above the invert of the kerb in all locations for the extent of works shown. b. Line marking changes on Hope Street. c. Roadside table drain works and verge reprofiling on Hope Street/Annan Road per the approved drawings. d. Crossroad Culvert 1 complete with wingwalls, headwalls, aprons and manhole as shown on the approved drawings. e. Take up the existing culvert and remove to Council's depot. The proposed plans to decommission in place is not approved as Council would have an ongoing maintenance burden for an aged asset. In addition, there is no access to undertake condition assessment of the redundant asset. f. Once the new internal road is opened, remove existing driveway for Lot 7 and make good. Except where modified by these conditions. all works must be carried out in accordance with the approved plans by KFB Engineers prior to Council approval of the Plan of Survey.	
23	EROSION AND SEDIMENT CONTROL All erosion and sediment controls nominated in the KFB ESC Strategy must be implemented prior to the discharge of water from the site such that no external stormwater flow from the site adversely affects surrounding or downstream properties (in accordance with the requirements of the Environmental Protection Act 1994, and the FNQROC Development Manual). Erosion and sediment control measures must be maintained at all times to the satisfaction of the Council's Manager Infrastructure.	Prior to Commencement of Works
24	STOCKPILING AND TRANSPORTATION OF FILL MATERIAL Soil used for filling or spoil from the excavation is not to be stockpiled in locations that can be viewed from adjoining premises or a road frontage for any longer than one (1) month from the Commencement of Works. Transportation of fill or spoil to and from the site must not occur within: a. Peak traffic times; or b. Before 7:00am or after 6:00pm Monday to Friday; or c. Before 7:00am or after 1:00pm Saturdays; or d. On Sundays or Public Holidays.	As stated.
25	Dust emissions or other air pollutants must not extend beyond the boundary of the site and cause nuisance to surrounding properties.	At all times.
26	STORAGE OF MACHINERY AND PLANT The storage of any machinery, material and vehicles must not cause a nuisance to surrounding properties, to the satisfaction of the Council's Manager Infrastructure.	At all times.
27	NOTIFICATION OF VEGETATION CLEARING Council must be notified two (2) business days prior to the proposed date of commencement of any approved vegetation clearing.	As stated.

No.	Condition	Timing
28	ELECTRICITY AND TELECOMMUNICATIONS Written evidence of negotiations with Ergon Energy and the telecommunication authority must be submitted to Council stating that both an underground electricity supply and telecommunications service will be provided to the development prior to Council approval of the Plan of Survey.	Prior to Council Approval of the Plan of Survey

B. Assessment Manager (Council) Advice

1. The currency period for this application is two (2) years. Should the approved use not commence within this time, the approval shall lapse.
2. The applicant/owner must notify Council of their intention to commence the use compliance with these conditions or negotiated conditions (or court determined conditions) and prior to the commencement of the use. This will allow a check for compliance with conditions to be carried out by Council officers.
3. The applicant/owner is to ensure compliance with the requirements of the *Aboriginal Cultural Heritage Act* and in particular 'the duty of care' that it imposes on all landowners.
4. This development approval does not approve of authorise the removal of vegetation that is otherwise protected under separate State or Federal legislation, including under the following:
 - A. *Environment Protection and Biodiversity Conservation Act 1999 (Cth)*;
 - B. *Nature Conservation Act 1999 (Qld)*;
 - C. *Vegetation Management Act 1999 (Qld)*.

Attachment 2 – Approved Plans (D24/34473)

COOK SHIRE COUNCIL

DIGITALLY STAMPED

APPROVED PLAN

Development Application:

Development Permit for Operational Works Associated with Reconfiguring a Lot (1 into 12 Lots)

Lot:

23 on SP219110

Referred to in Cook Shire Council's Decision Notice

Approval Date:

29 August 2024

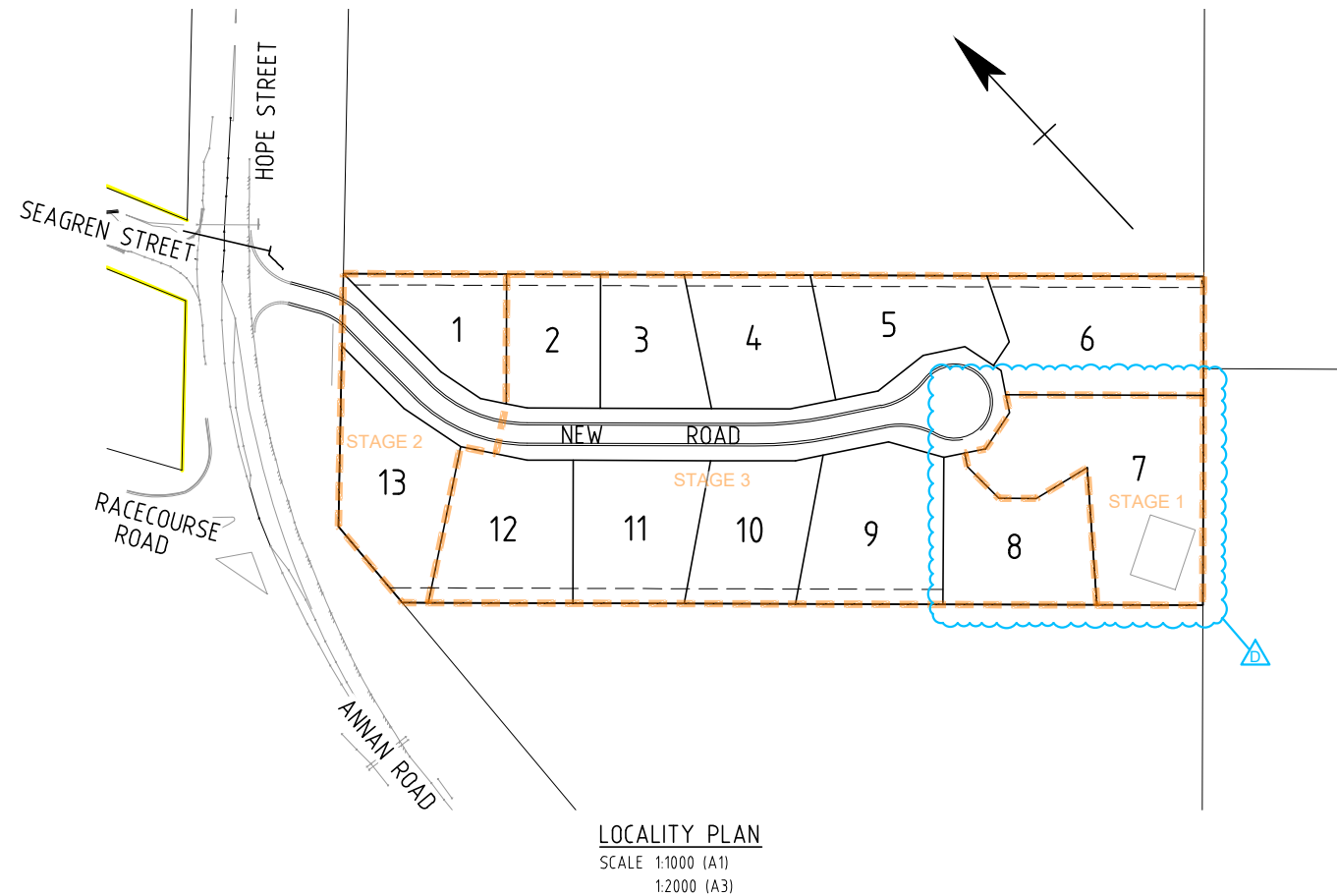
Application Number:

DA/4590

CLIENT:Mr Matthew Carey

PROJECT:Proposed Subdivision Stage 1 - 3
Hope Street, Cooktown

PROJECT No: K-9168



DRAWING INDEX	
DRAWING No	DRAWING TITLE
C01	LOCALITY PLAN AND DRAWING INDEX
C02	ROADWORKS AND STORMWATER DRAINAGE
C03	ANNAN ROAD/HOPE STREET WORKS
C04	MISCELLANEOUS SECTIONS AND DETAILS
C05	LONGITUDINAL SECTION SHEET 1
C06	LONGITUDINAL SECTION SHEET 2
C07	ROAD CROSS SECTIONS
C08	STORMWATER DRAINAGE CATCHMENT PLAN
C09	STORMWATER DRAINAGE LONGITUDINAL SECTIONS
C10	STORMWATER DRAINAGE CALCULATIONS
C11	WATER AND SEWERAGE RETICULATION
C12	SEWERAGE LONGITUDINAL SECTIONS
C13	EROSION AND SEDIMENT CONTROL STRATEGY
C14	CATCH DRAIN 1 CROSS SECTIONS
C15	CATCH DRAIN 2 CROSS SECTIONS
C16	SEAGREN STREET ON-STREET WORKS



ISSUED FOR

PRELIMINARY

NOT FOR CONSTRUCTION

D	10/08/24	REVISED FOR ADDITIONAL COUNCIL RFI	KCDD	EWK
C	20/02/24	REVISED FOR ADDITIONAL COUNCIL RFI	KCDD	EWK
B	26/07/23	COUNCIL RFI REVISIONS	KCDD	EWK
A	29/08/22	INITIAL ISSUE	KCDD	EWK
No.	DATE	ISSUE / REVISIONS	DRN	CHKD
DRAWING FILE:		XREF FILE:		

Mr Matthew Carey

Proposed Subdivision

at Hope Street, Cooktown

LOCALITY PLAN AND

DRAWING INDEX



KFB ENGINEERS

ABN 73 618 014 261

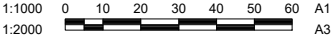
Civil & Structural

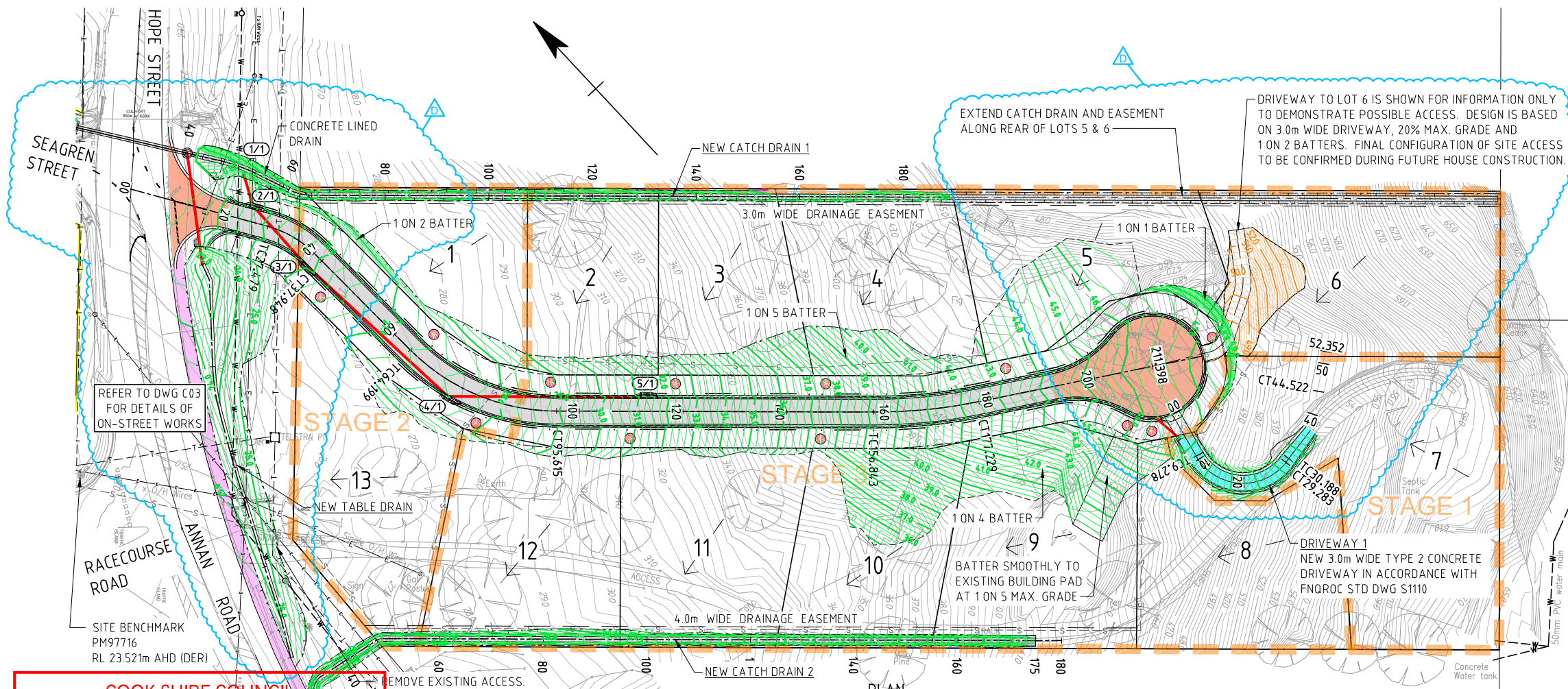
1/38-42 Pease St, Cairns | PO Box 927, Cairns Q 4870

P: 07 40320492 | F: 07 40320092

E: email@kfbeng.com.au

JOB No:	K-9168
SHEET:	C01
SCALE:	1:1000





COOK SHIRE COUNCIL

DIGITALLY STAMPED APPROVED PLAN

Development Application: Development Permit for Operational Works Associated with Reconfiguring a Lot (1 into 12 Lots)

Lot: 23 on SP219110

Referred to in Cook Shire Council's Decision Notice

Approval Date: 29 August 2024

Application Number: DA/4590

- LEGEND**
- 30mm ASPHALT SEALED PAVEMENT
 - 50mm ASPHALT SEALED PAVEMENT
 - NEW 2.5m WIDE ROAD SHOULDER
 - FALL OF FINISHED LOT
 - STORMWATER DRAINAGE PIPE
 - SEWER PIPE
 - SUBSOIL DRAIN AND FLUSHING POINT
 - STORMWATER DRAINAGE STRUCTURE/LINE NUMBER
 - DESIGN SURFACE CONTOURS (0.25m INTERVAL)
 - EXISTING SURFACE CONTOURS (0.5m INTERVAL)
 - POSSIBLE LOCATION OF LOT ACCESS FINAL LOCATION TO BE CONFIRMED AT BUILDING STAGE

ALIGNMENT DETAILS

ROAD A						
TYPE	CHAIN	EAST	NORTH	BEARING	LENGTH	RADIUS
IP	0.000	525.903	564.614	148°11'18.56"		
TC	27.479	540.388	541.262	148°11'18.56"		
IP	32.714	543.212	536.710		10.469	20.000
CT	37.948	543.382	531.355	178°10'50.00"		
TC	64.199	544.215	505.117	178°10'50.00"		
IP	79.907	544.742	488.557		31.416	-40.000
CT	95.615	556.823	477.219	133°10'50.00"		
IP	100.000	560.021	474.219	133°10'50.00"		
TC	156.843	601.471	435.321	133°10'50.00"		
IP	167.036	608.930	428.322		20.386	-100.000
CT	177.229	617.651	422.977	121°30'00.00"		
IP	200.000	637.066	411.079	121°30'00.00"		
IP	211.398	646.785	405.124	121°30'00.00"		

DRIVEWAY 1						
TYPE	CHAIN	EAST	NORTH	BEARING	LENGTH	RADIUS
IP	0.000	644.151	395.477	195°16'24.16"		
TC	9.278	641.707	386.527	195°16'24.16"		
IP	19.281	637.602	371.494		20.005	-10.000
CT	20.000	644.427	376.680	133°50'24.56"		
TC	29.283	652.978	374.025	80°39'03.55"		
IP	30.188	653.871	374.172	80°39'03.55"		
CT	37.355	661.080	375.359		14.334	-30.000
TC	44.522	666.936	379.728	53°16'31.36"		
IP	52.352	673.212	384.410	53°16'31.36"		

NEW CATCH DRAIN 1						
TYPE	CHAIN	EAST	NORTH	BEARING	LENGTH	RADIUS
IP	0.000	544.632	565.453	139°40'56.04"		
TC	0.203	544.763	565.299	139°40'56.04"		
IP	1.913	545.943	563.909		3.421	4.000
CT	3.624	545.668	562.107	188°41'01.61"		
TC	9.526	544.776	556.272	188°41'01.61"		
IP	12.083	544.382	553.688		5.115	-10.000
CT	14.641	545.302	551.240	159°22'46.67"		
TC	22.746	548.157	543.654	159°22'46.67"		
IP	25.033	548.977	541.476		4.573	-10.000
CT	27.319	550.673	539.884	133°10'50.00"		
IP	150.331	640.374	455.707	133°10'50.00"		

NEW TABLE DRAIN						
TYPE	CHAIN	EAST	NORTH	BEARING	LENGTH	RADIUS
IP	0.000	525.686	544.856	227°02'03.22"		
IP	4.115	522.675	542.052			
IP	7.941	520.308	539.045			
IP	12.653	517.544	535.229			
IP	18.235	514.122	530.820			
IP	22.621	511.558	527.261			
IP	27.108	509.101	523.506			
IP	37.534	504.093	514.362			
IP	40.435	502.774	511.778			
IP	45.905	500.101	507.005			
IP	47.506	499.384	505.575			
IP	57.603	495.225	496.374			
IP	62.467	493.326	491.895			
IP	67.463	491.123	487.412			
IP	70.959	489.902	484.136			
IP	74.839	488.470	480.530			
IP	76.505	487.770	479.018			
IP	78.341	486.902	477.400	208°12'39.31"		

NEW CATCH DRAIN 2						
TYPE	CHAIN	EAST	NORTH	BEARING	LENGTH	RADIUS
IP	0.000	477.214	439.387	38°17'01.56"		
TC	0.782	477.699	440.001	38°17'01.56"		
IP	3.185	479.217	441.924		4.805	-10.000
CT	5.587	479.674	444.331	10°45'17.95"		
IP	17.967	481.984	456.494			
TC	30.472	485.196	468.578	14°53'10.32"		
IP	32.697	485.903	471.235		4.450	3.000
CT	34.922	488.610	470.763	99°52'50.11"		
TC	47.782	501.280	468.556	99°52'50.11"		
IP	48.363	501.869	468.454		1.162	2.000
CT	48.944	502.305	468.045	133°10'33.57"		
IP	199.453	612.064	365.061	133°10'33.57"		

ALL WORKS

- CONSTRUCTION AND INSTALLATION OF ALL WORKS AS DETAILED ON THESE DRAWINGS SHALL BE IN ACCORDANCE WITH THE PROCEDURES, SPECIFICATIONS AND DRAWINGS CONTAINED IN THE CURRENT ISSUE OF THE FNQROC DEVELOPMENT MANUAL AND TO THE REQUIREMENTS OF THE COOK SHIRE COUNCIL.

COMPLIANCE WITH THE ASSESSMENT MANAGER CONDITIONS

- THE CONTRACTOR SHALL COMPLY WITH ALL ASSESSMENT MANAGER CONDITIONS SET OUT IN COUNCIL DECISION NOTICE FOR OPERATIONAL WORKS.

GENERAL NOTES

- TRAFFIC CONTROL DEVICES (SIGNS, LINEMARKING ETC) SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT ISSUE OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AS ISSUED BY THE DEPARTMENT OF TRANSPORT, QUEENSLAND AND FNQROC STD DWG S1041.
- ENSURE SERVICE CONDUITS ARE LAID BENEATH ANY EARLY WORKS FINISHES. E.g. WATER, POWER, TELECOMMUNICATIONS, ETC. NOTE WATER SERVICE CONDUITS TO BE INSTALLED UNDER NEW CONCRETE FOOTPATH IN WISEMAN ROAD EAST.
- THE CONTRACTOR SHALL REMOVE ALL EXISTING CONSTRUCTION, TREES, SERVICES ETC AS NECESSARY TO PERMIT CONSTRUCTION OF THE NEW WORKS.
- THE CONTRACTOR SHALL OBTAIN COUNCIL INSPECTIONS AND THEIR WITNESS TO TESTING PRIOR TO MAKING SERVICES LIVE. A COPY OF COUNCIL'S INSPECTION CERTIFICATE SHALL BE PROVIDED TO THE SUPERINTENDENT PRIOR TO PRACTICAL COMPLETION.

SURVEY & EXISTING SERVICES

- THE LINE AND LEVEL OF EXISTING UNDERGROUND SERVICES SHALL BE DETERMINED BY THE CONTRACTOR AND THE ENGINEER SHALL BE NOTIFIED OF ANY POTENTIAL CLASHES WITH DESIGN STRUCTURES AND SERVICES PRIOR TO COMMENCING CONSTRUCTION.
- ALL DAMAGE TO EXISTING SERVICES SHALL BE MADE GOOD TO THE SATISFACTION OF THE SUPERINTENDENT AND THE RELEVANT AUTHORITY, ALL AT THE CONTRACTORS EXPENSE. THE CONTRACTOR SHALL NOTIFY THE RELEVANT AUTHORITY IMMEDIATELY WHEN ANY DAMAGE OCCURS.
- EXISTING OUTLET LEVELS OR CONNECTION LEVELS FOR ALL DESIGN STORMWATER AND SEWER SHALL BE CONFIRMED BY THE CONTRACTOR AND THE ENGINEER SHALL BE NOTIFIED OF ANY VARIATIONS PRIOR TO COMMENCING CONSTRUCTION.
- EXISTING SERVICES ON THE DRAWINGS ARE PLOTTED FROM THE BEST INFORMATION AVAILABLE. NO RESPONSIBILITY IS TAKEN BY THE PRINCIPAL OR SUPERINTENDENT FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION SHOWN.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR IS TO ESTABLISH ON SITE THE EXACT POSITION OF ALL UNDERGROUND SERVICES IN THE PROPOSED WORKS AREA. METHODS FOR ACHIEVING THIS WILL INCLUDE BUT NOT BE LIMITED TO:-
 - CAREFUL EXAMINATION OF THE CONTRACT DRAWINGS.
 - CONSULTATION WITH THE RELEVANT SERVICE AUTHORITIES INCLUDING DIAL BEFORE YOU DIG.
 - COMPREHENSIVELY SCANNING THE AFFECTED AREAS WITH A CABLE DETECTOR AND MARKING ON THE GROUND THE POSITION OF ALL SERVICES.
 - HAND EXCAVATING TO EXPOSE ALL SUCH SERVICES WHICH MAY BE AFFECTED BY THE PROPOSED WORKS UNDER THE DIRECTION OF THE RELEVANT SERVICE AUTHORITY.

PROTECTION OF VEGETATION / SLOPE PROTECTION

- EXISTING VEGETATION DETAILED ON THE PLAN MUST BE RETAINED WHERE POSSIBLE.

LANDSCAPING

- ALL INTERNAL & EXTERNAL LANDSCAPING SHALL BE ESTABLISHED AND MAINTAINED TO THE SATISFACTION OF THE COUNCIL.
- FOOTPATHS THE VERGE BETWEEN THE PROPERTY BOUNDARY AND K&C SHALL BE FORMED AND GRASSED AND LEFT IN A MOWABLE CONDITION.

'AS CONSTRUCTED' INFORMATION

- THE CONTRACTOR SHALL PROVIDE 'AS CONSTRUCTED' DRAWINGS INCLUDING BOTH ELECTRONIC AND HARD COPIES CERTIFIED BY A REGISTERED SURVEYOR FOR ALL UNDERGROUND SERVICES INSTALLED FOR THIS PROJECT IN ACCORDANCE WITH FNQROC AND COUNCIL REQUIREMENTS.

SURVEY DATUM

SURVEYOR: JOHN MACISAAC AND ASSOCIATES PTY LTD
REF: 2038-03 DATE: 27/05/2005

LEVEL DATUM: AHD DERIVED
ORIGIN OF LEVELS: PM 97716 RL 23.521
MERIDIAN: SP136525



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CONSTRUCTION

1:500 0 5 10 20 30 A1
1:1000 A3

No.	DATE	ISSUE / REVISIONS	DRN	CHKD
D	10/08/24	REVISED FOR ADDITIONAL COUNCIL RFI	KCDD	EWK
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DRAWING FILE:		XREF FILE:		

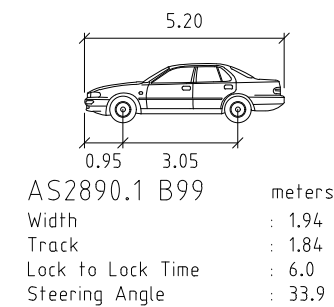
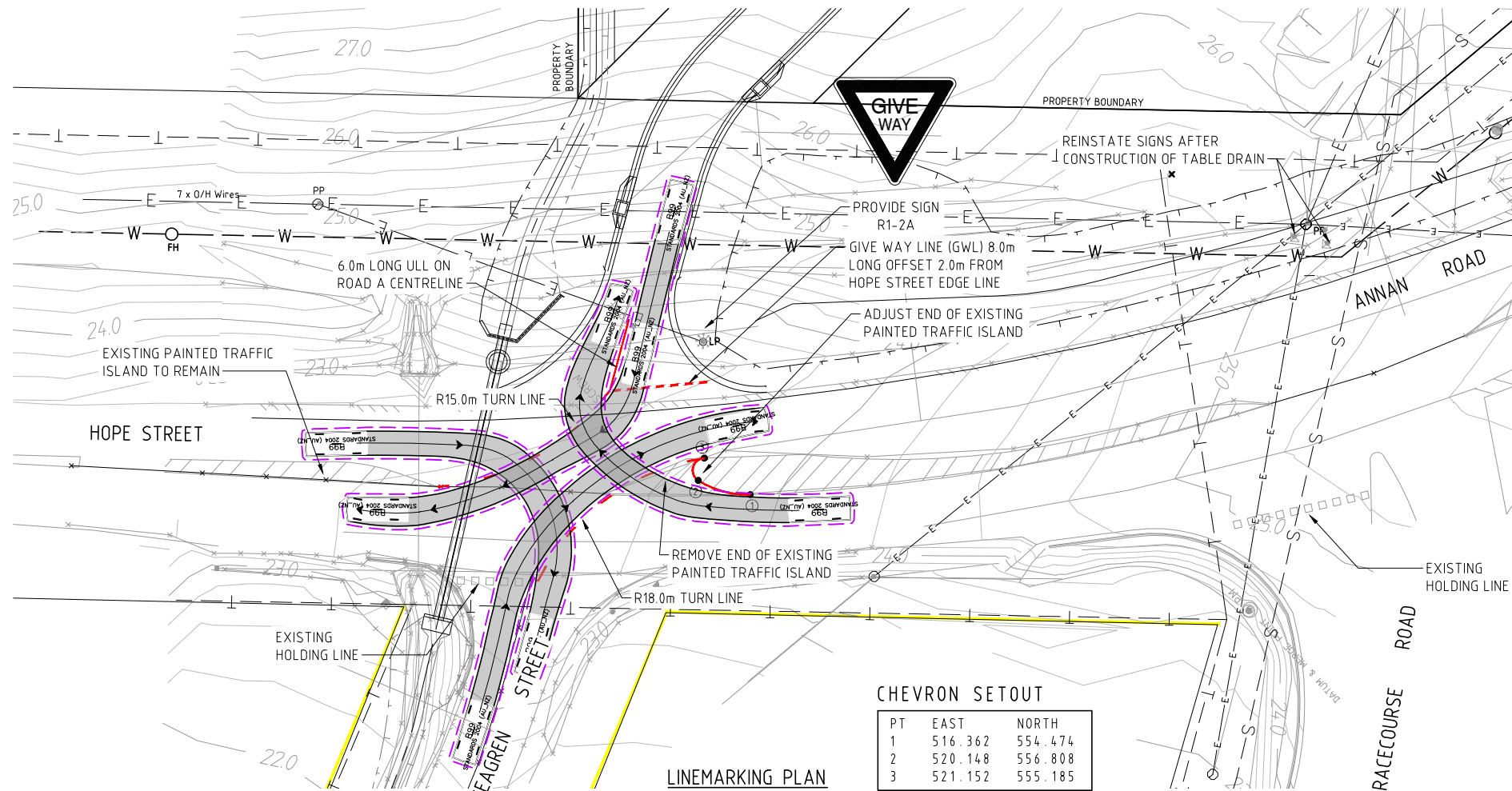
Mr Matthew Carey
Proposed Subdivision
at Hope Street, Cooktown

ROADWORKS AND
STORMWATER DRAINAGE

KFB ENGINEERS
ABN 73 618 014 261

Civil & Structural
1/38-42 Pease St, Cairns | PO Box 927, Cairns Q 4870
P: 07 40320492 | F: 07 40320092
E: email@kfbeng.com.au

JOB No: K-9168
SHEET: C02 | D |
SCALE: 1:500 (@ A1)



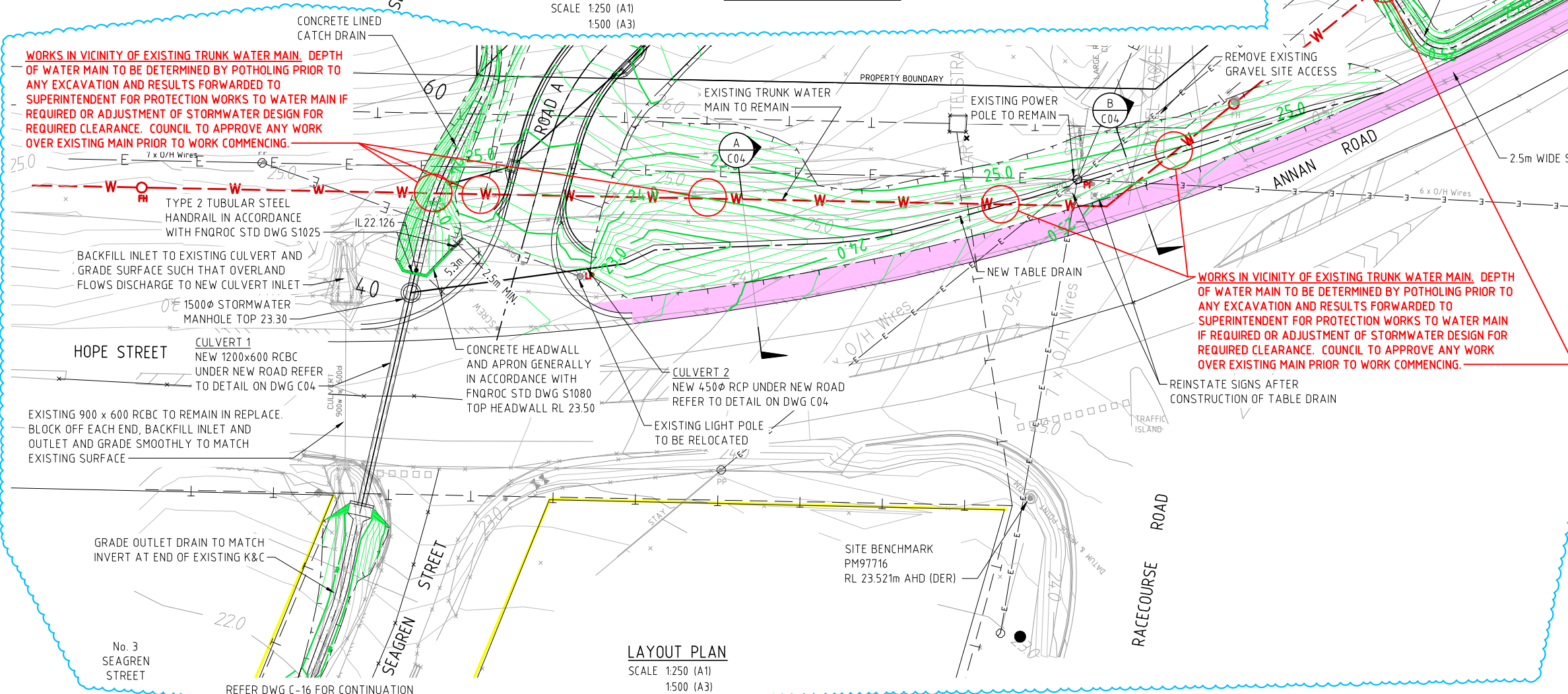
COOK SHIRE COUNCIL
DIGITALLY STAMPED
APPROVED PLAN

Development Application: Development Permit for Operational Works Associated with Reconfiguring a Lot (1 into 12 Lots)

Lot: 23 on SP219110

Referred to in Cook Shire Council's Decision Notice

Approval Date: 29 August 2024
Application Number: DA/4590



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Mr Matthew Carey
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HOPE ST / ANNAN RD
ON-STREET WORKS

KFB ENGINEERS
ABN 73 618 014 261

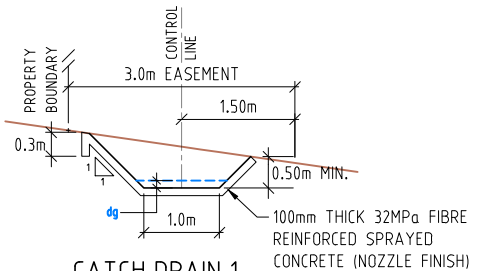
Civil & Structural
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E: email@kfbeng.com.au

BEFORE YOU DIG
www.byda.com.au

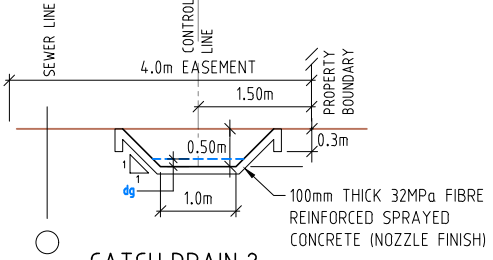
ISSUED FOR PRELIMINARY
NOT FOR CONSTRUCTION

1:250 0 5 10 15 A1
1:500

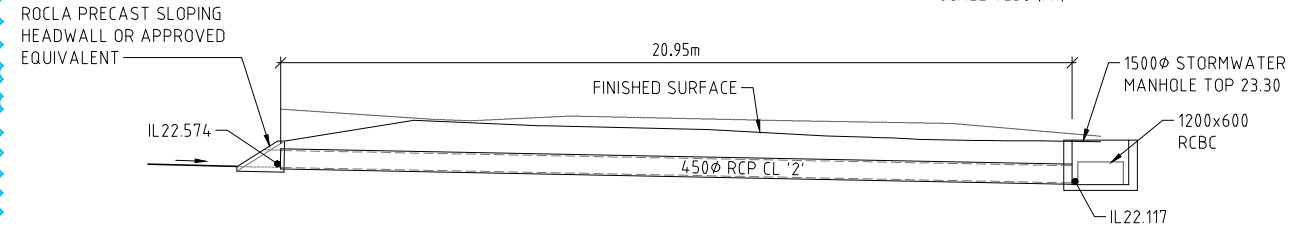
Job No: K-9168
SHEET: C03 D
SCALE: 1:250 (@ A1)



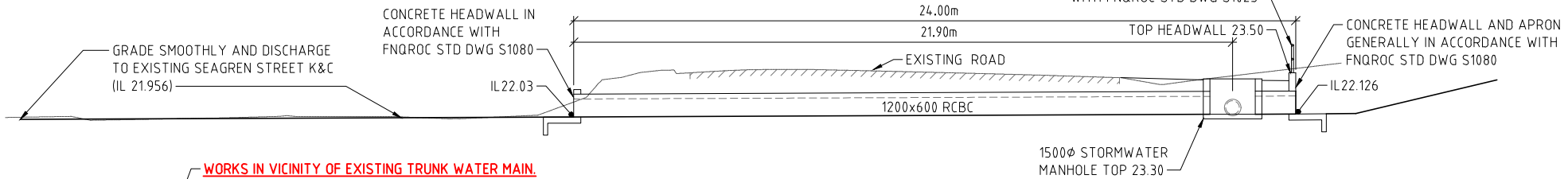
CATCH DRAIN 1
DETAIL
N.T.S.



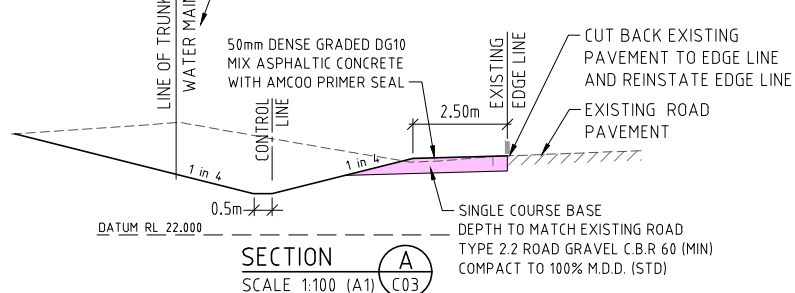
CATCH DRAIN 2
DETAIL
N.T.S.



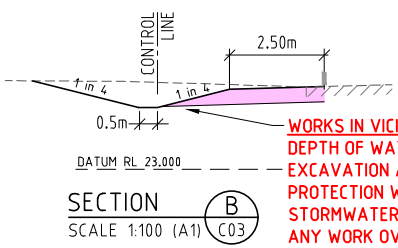
CULVERT 2
SCALE 1:100 (A1)



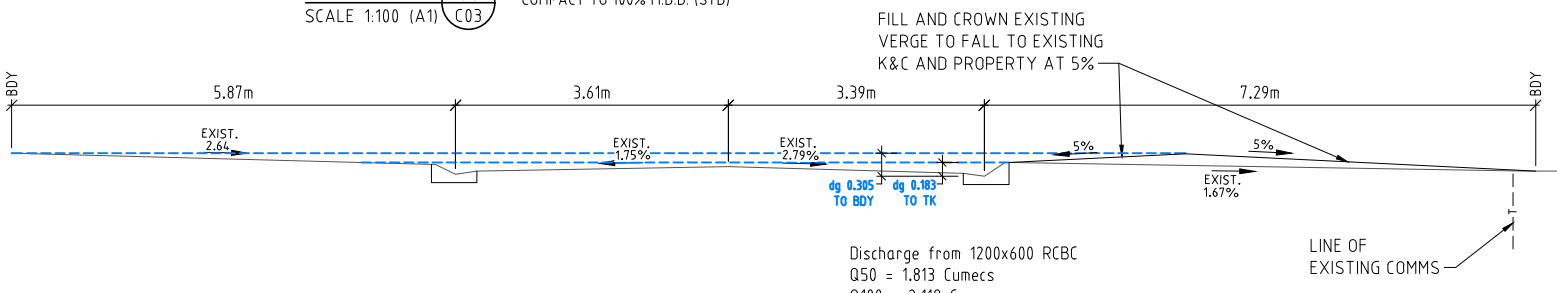
WORKS IN VICINITY OF EXISTING TRUNK WATER MAIN.
DEPTH OF WATER MAIN TO BE DETERMINED BY POTHOLING PRIOR TO ANY EXCAVATION AND RESULTS FORWARDED TO SUPERINTENDENT FOR PROTECTION WORKS TO WATER MAIN IF REQUIRED OR ADJUSTMENT OF STORMWATER DESIGN FOR REQUIRED CLEARANCE. COUNCIL TO APPROVE ANY WORK OVER EXISTING MAIN PRIOR TO WORK COMMENCING.



CULVERT 1
SCALE 1:100 (A1)



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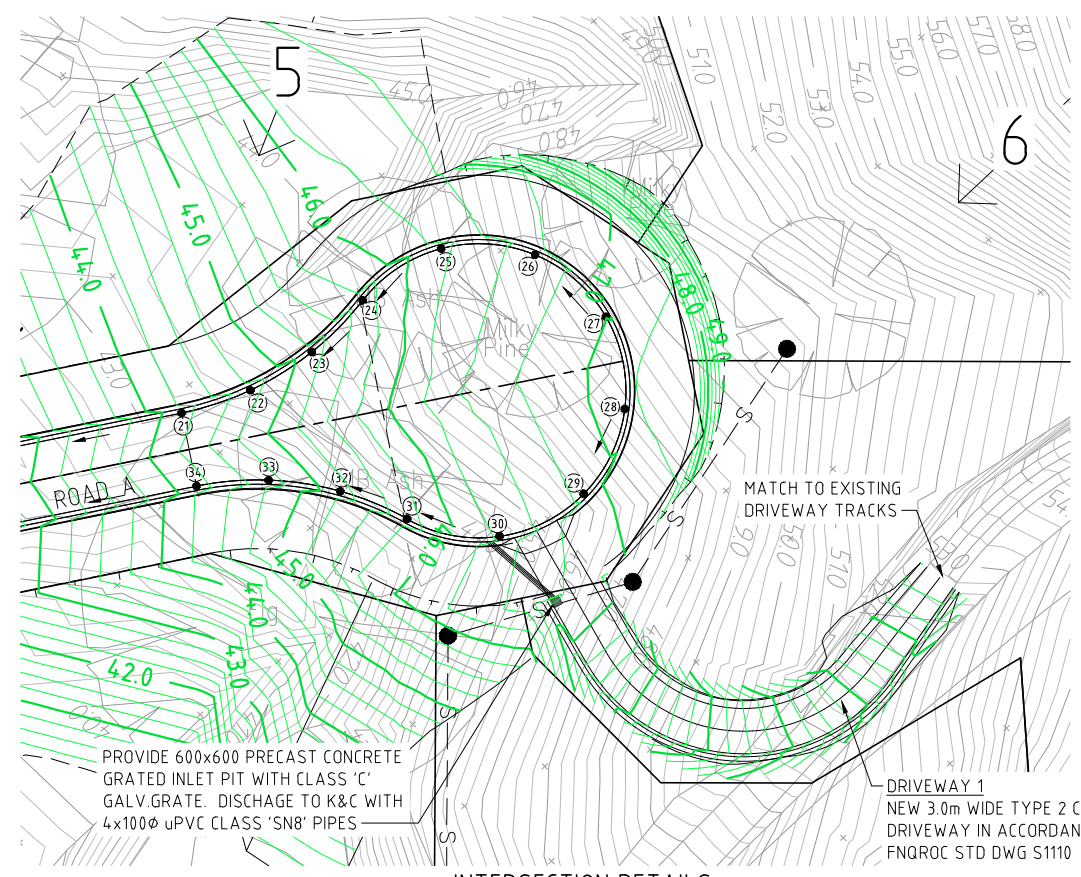


SEAGREN STREET
TYPICAL SECTION
SCALE 1:50 (A1)

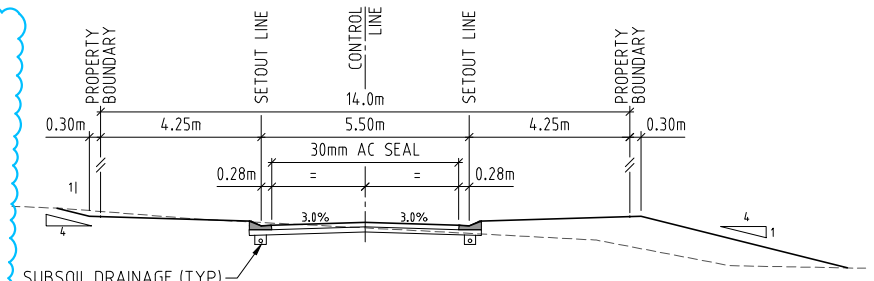
Discharge from 1200x600 RCBC
Q50 = 1.813 Cumecs
Q100 = 2.118 Cumecs
ROAD FLOW CAPACITY (AT 4% AV. GRADE)
'dg' (m) 0.183m 0.305m
CAPACITY (Cumecs) 3.764 >10
(FULL ROAD)

INTERSECTION SETOUT

PT	EAST	NORTH	RL	LIP
10	539.381	568.360	23.310	
11	536.723	564.308	23.331	
12	535.496	559.620	23.331	
13	535.827	554.785	23.499	
14	537.683	550.308	24.018	
15	539.265	547.758	24.414	
16	535.496	544.463	24.510	
17	533.914	547.013	24.134	
18	530.328	550.023	23.694	
19	525.655	550.319	23.620	
20	521.717	547.785	23.680	
21	631.401	417.448	44.168	
22	635.751	415.445	44.654	
23	640.449	414.519	45.140	
24	645.234	414.719	45.625	
25	651.371	413.694	46.198	
26	655.629	409.156	46.616	
27	656.262	402.965	46.996	
28	653.011	397.659	47.122	
29	647.208	395.413	46.808	
30	641.231	397.147	46.289	
31	637.531	402.150	45.646	
32	635.538	406.504	45.153	
33	632.579	410.269	44.661	
34	628.820	413.236	44.167	



INTERSECTION DETAILS
SCALE 1:250 (A1)



TYPICAL ROAD CROSS SECTION
N.T.S.

PAVEMENT DETAILS

- SEAL: 30mm OR 50mm DENSE GRADED DG10 MIX ASPHALTIC CONCRETE WITH AMCOO PRIMER SEAL
- BASE COURSE: 100mm TYPE 2.2 ROAD GRAVEL C.B.R 60 (MIN) COMPACT TO 100% M.D.D. (STD)
- SUB BASE COURSE: 120mm TYPE 2.3 ROAD GRAVEL C.B.R 45 (MIN) COMPACT TO 100% M.D.D. (STD)
- WHERE ROAD GRADE IS 10% OR GREATER A PRIME AND SEAL COAT (10mm - 7mm SCREENINGS) IS REQUIRED PRIOR TO APPLICATION OF THE ASPHALT.
- SELECT FILL: 300mm APPROVED SELECT FILL C.B.R. 20 (MIN) COMPACT TO 95% M.D.D. (STD).
- CONTRACTOR TO FORWARD TWO SOAKED C.B.R. TEST RESULTS FOR SUBGRADE FROM EACH ROAD AS SOON AS PRACTICABLY POSSIBLE.
- PAVEMENT DESIGN SUBJECT TO SUBGRADE C.B.R. RESULTS BEING ACCEPTED BY COUNCIL. (PRIOR TO CONSTRUCTION OF PAVEMENT)

COOK SHIRE COUNCIL
DIGITALLY STAMPED
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Lot: 23 on SP219110

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KFB ENGINEERS
ABN 73 618 014 261



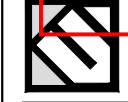
ISSUED FOR
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1:250 0 5 10 15 A1
1:500

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DRAWING FILE:	XREF FILE:			

Mr Matthew Carey
Proposed Subdivision
at Hope Street, Cooktown

MISCELLANEOUS
SECTIONS AND DETAILS



Civil & Structural

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P: 07 40320492 | F: 07 40320092
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JOB No: K-9168
SHEET: C04 | D |
SCALE: AS SHOWN (@ A1)

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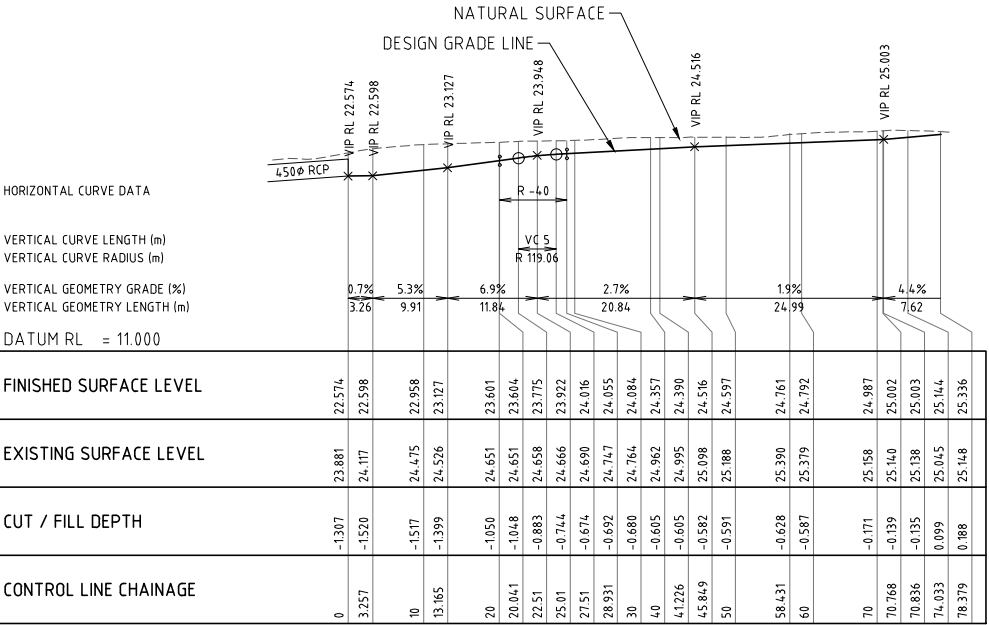
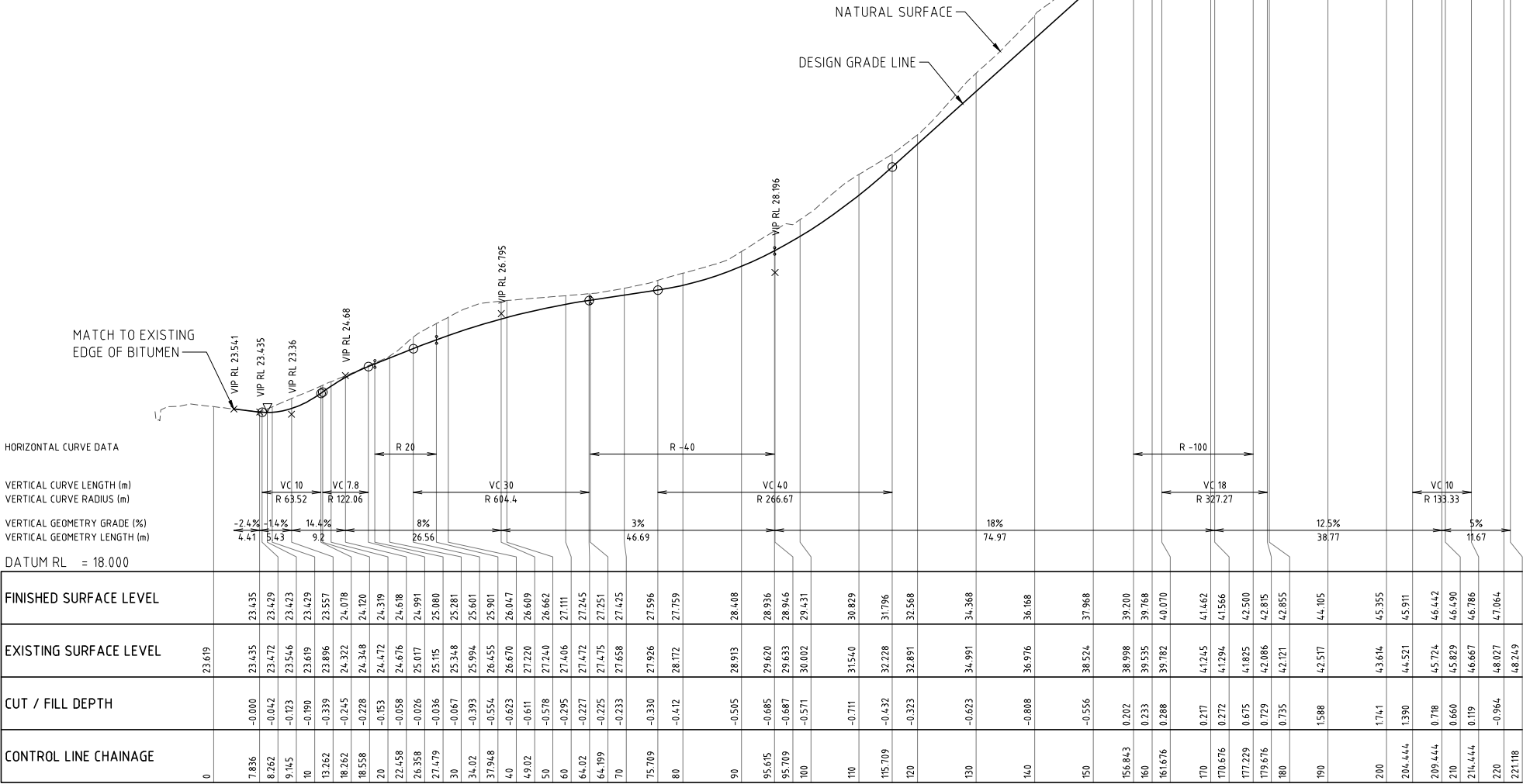
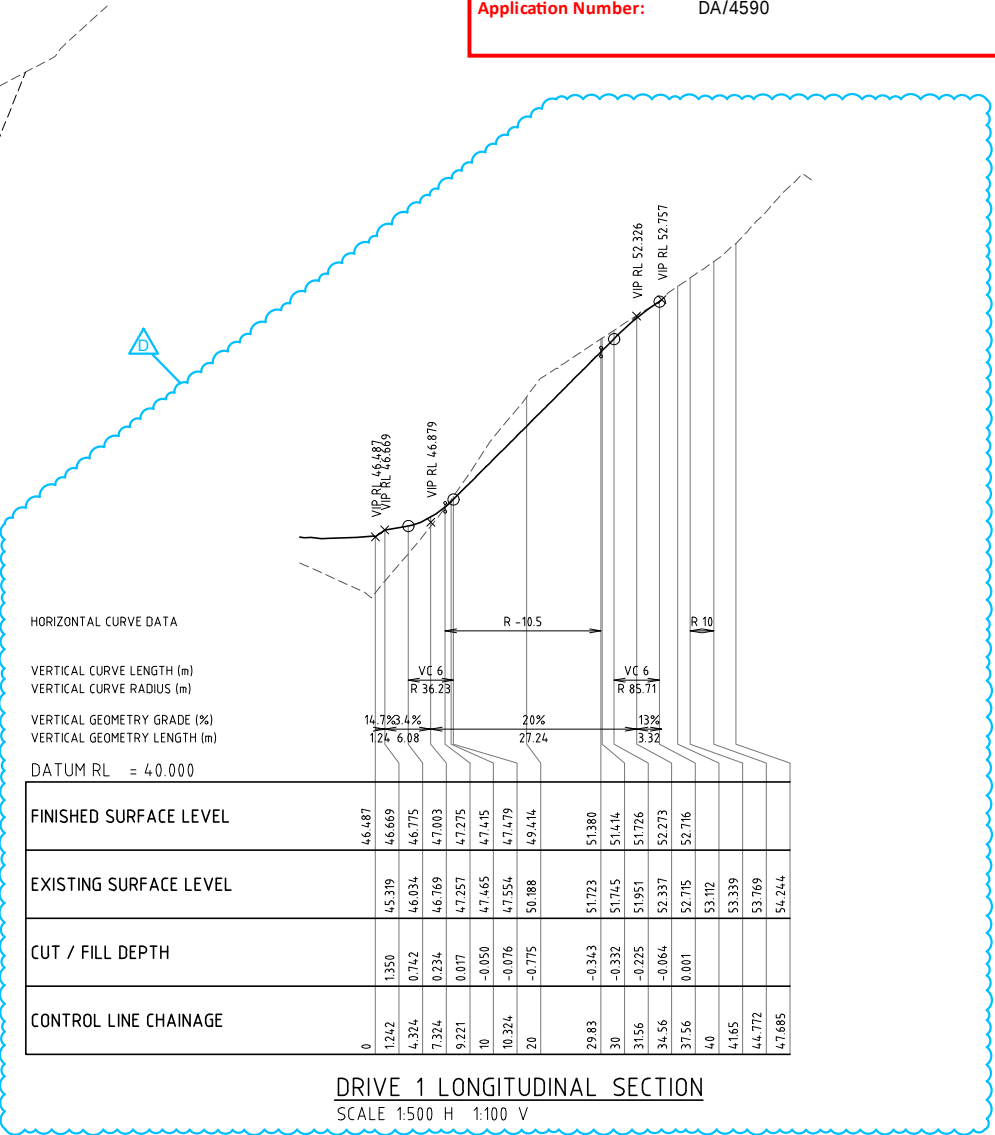


TABLE DRAIN LONGITUDINAL SECTION
SCALE 1:500 H 1:250 V



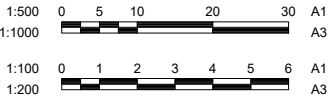
ROAD A LONGITUDINAL SECTION
SCALE 1:500 H 1:100 V



DRIVE 1 LONGITUDINAL SECTION
SCALE 1:500 H 1:100 V



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Mr Matthew Carey
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LONGITUDINAL SECTIONS
SHEET 1



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COOK SHIRE COUNCIL
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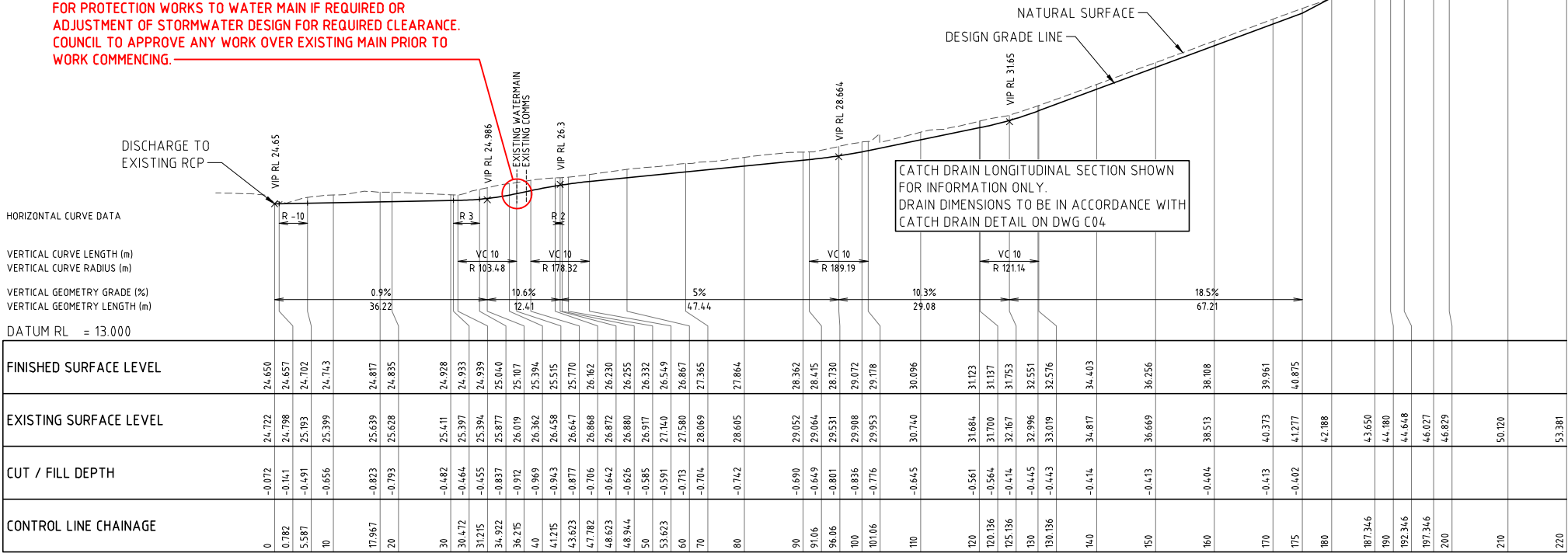
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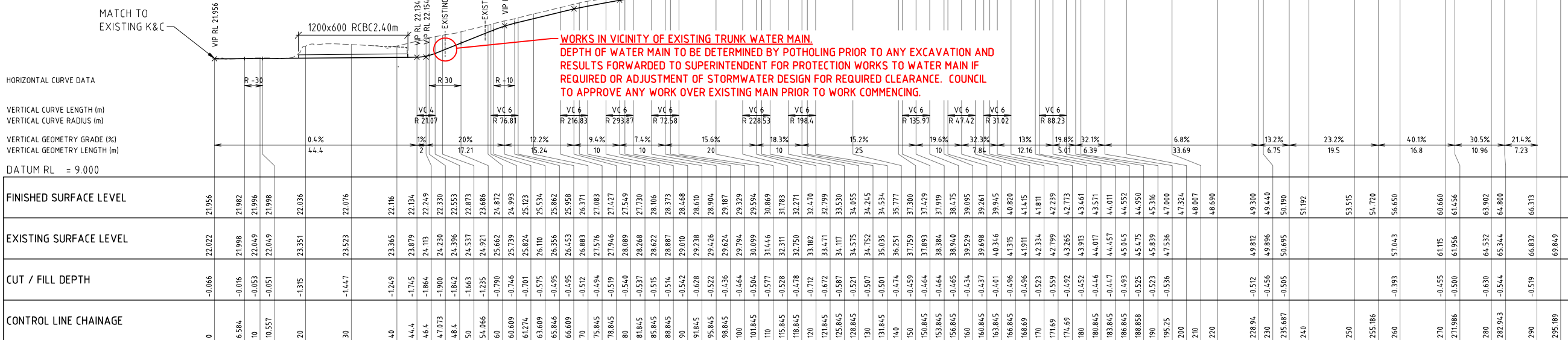
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CATCH DRAIN 2 LONGITUDINAL SECTION
SCALE 1:500 H 1:250 V

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CATCH DRAIN 1 LONGITUDINAL SECTION
SCALE 1:500 H 1:250 V

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Mr Matthew Carey
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at Hope Street, Cooktown

LONGITUDINAL SECTIONS
SHEET 2



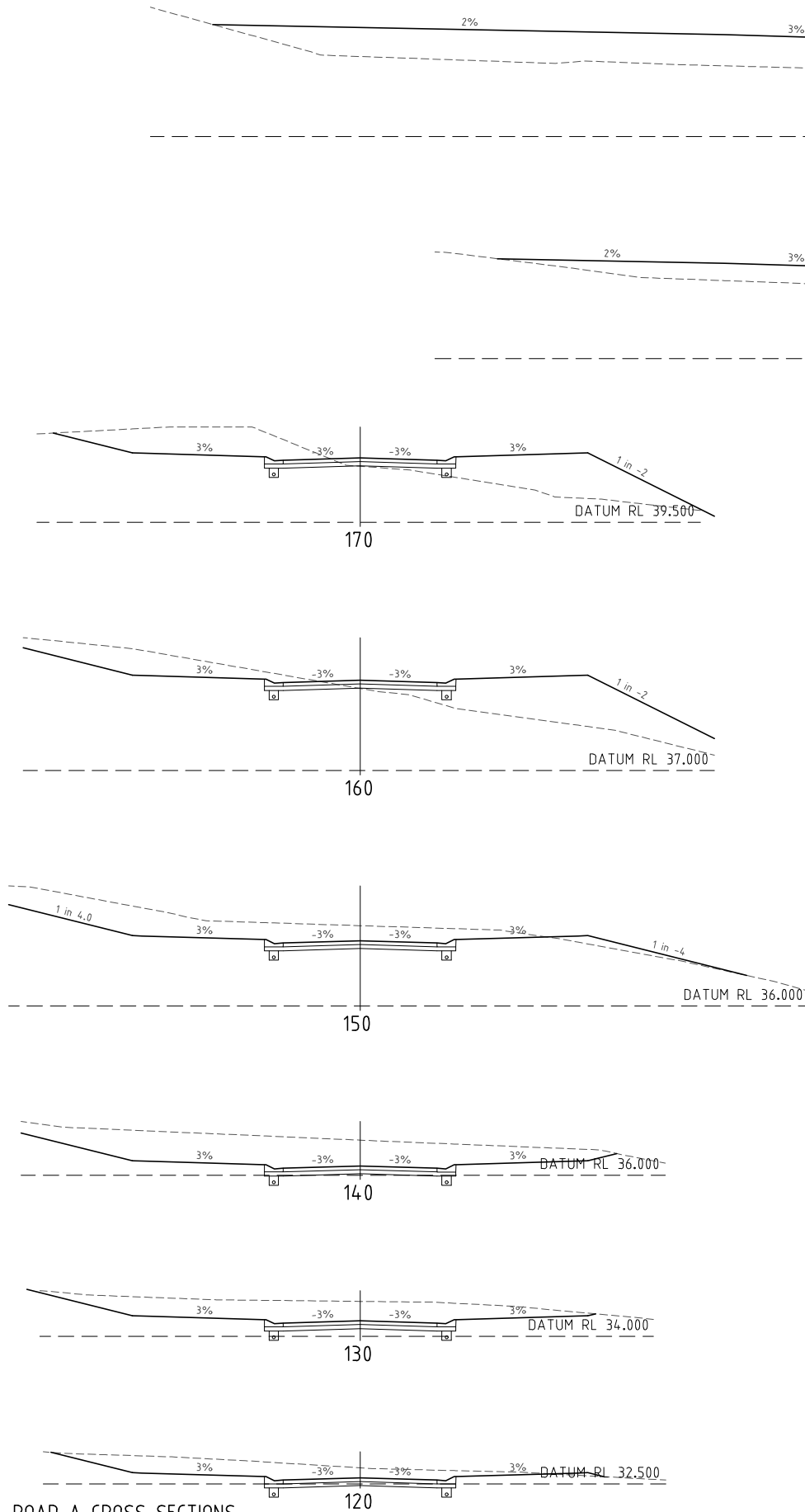
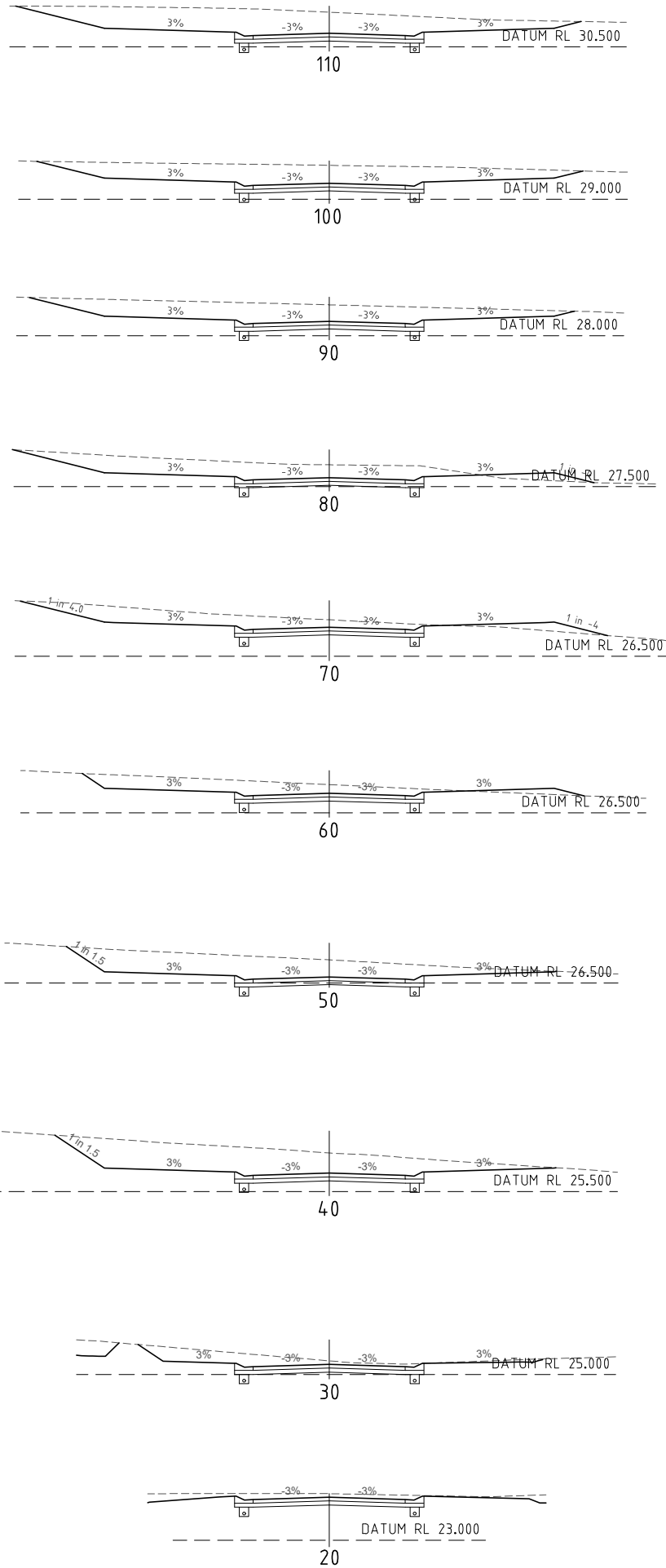
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JOB No: K-9168

SHEET: C06 D

SCALE: AS SHOWN (@ A1)



ROAD A CROSS SECTIONS
SCALE 1:100 H 1:100 V



COOK SHIRE COUNCIL
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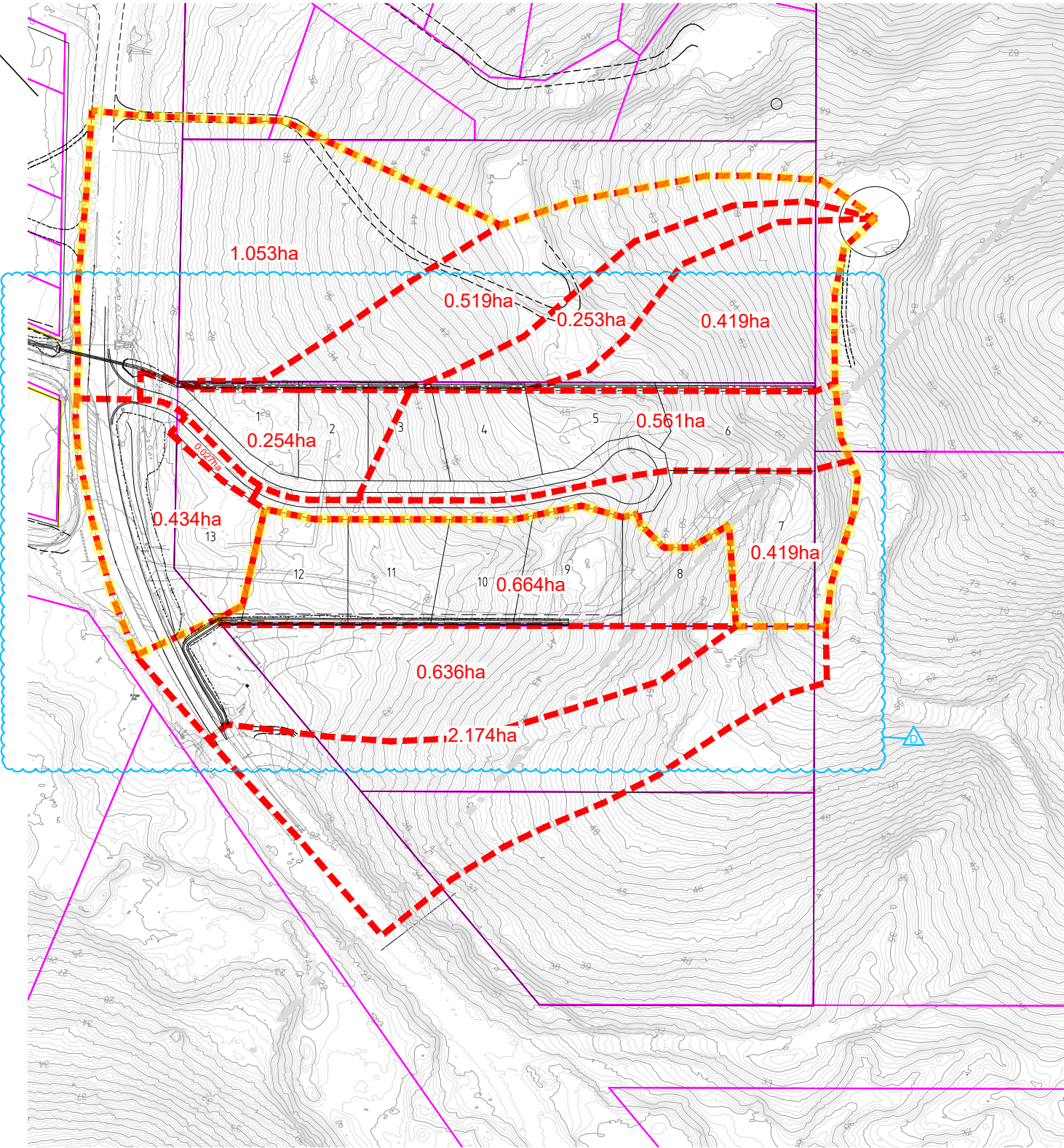
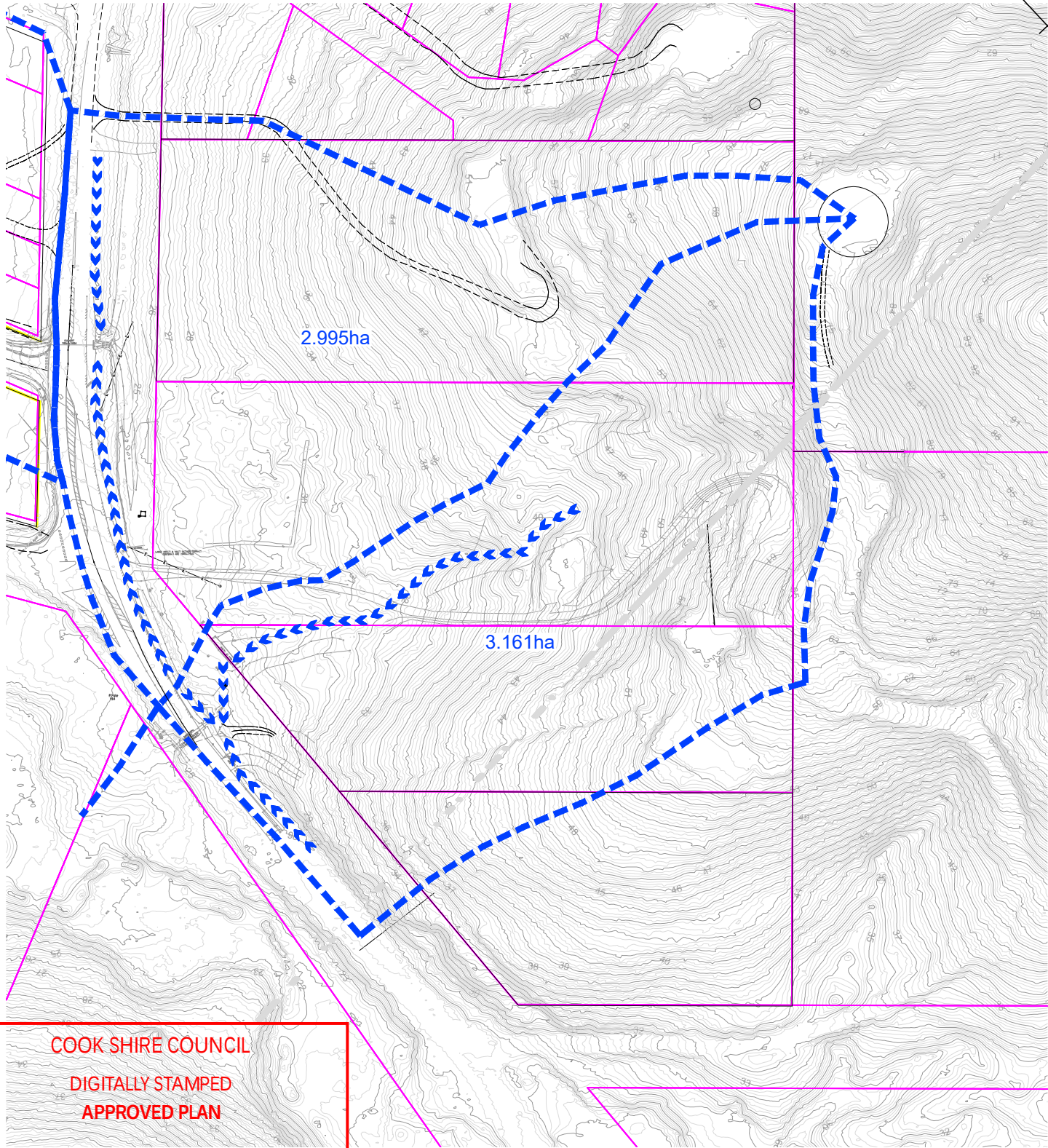
ROAD CROSS SECTIONS



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PREDEVELOPMENT STORMWATER DRAINAGE CATCHMENT PLAN
SCALE 1:1000 A1

POSTDEVELOPMENT STORMWATER DRAINAGE CATCHMENT PLAN
SCALE 1:1000 A1



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at Hope Street, Cooktown

STORMWATER DRAINAGE
CATCHMENT PLAN



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ABN 73 618 014 261

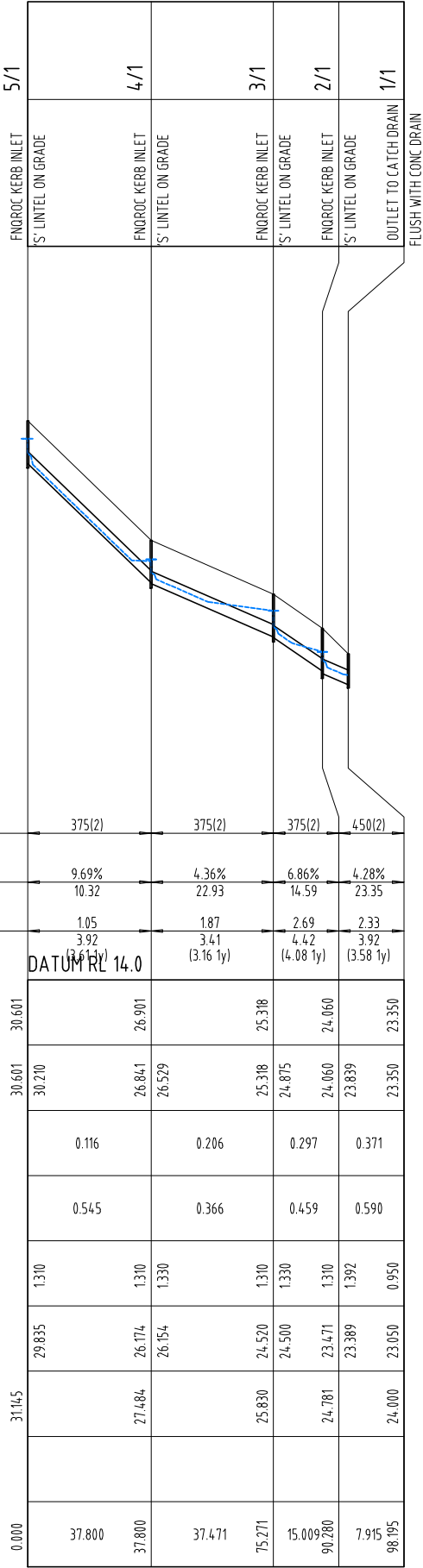
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JOB No: **K-9168**
SHEET: **C08** | **C**
SCALE: AS SHOWN (@ A1)

STRUCTURE NAME
STRUCTURE DESCRIPTION

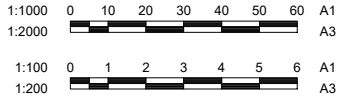
PIPE SIZEmm (Class)	375(2)	375(2)	375(2)	450(2)
PIPE GRADE %	9.69%	4.36%	6.86%	4.28%
PIPE SLOPE 1 in X	10.32	22.93	14.59	23.35
FULL PIPE FLOW VELOCITY (m/s)	1.05	1.87	2.69	2.33
PART FULL FLOW VELOCITY (m/s)	3.92 (3.16 1y)	3.41 (3.16 1y)	4.42 (4.08 1y)	3.92 (3.58 1y)

WATER LEVEL IN STRUCTURE
HYDRAULIC GRADE LEVEL
PIPE FLOW (Cumecs)
PIPE CAPACITY AT GRADE (Cumecs)
DEPTH TO INVERT
INVERT LEVEL OF DRAIN
DESIGN SURFACE LEVEL
ROAD CHAINAGE (Offset)
RUNNING CHAINAGE



LINE

1



COOK SHIRE COUNCIL
DIGITALLY STAMPED
APPROVED PLAN

Development Application: Development Permit for Operational Works Associated with Reconfiguring a Lot (1 into 12 Lots)

Lot: 23 on SP219110

Referred to in Cook Shire Council's Decision Notice

Approval Date: 29 August 2024
Application Number: DA/4590



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CONSTRUCTION

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B	26/07/23	COUNCIL RFI REVISIONS	KCDD	EWK
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Mr Matthew Carey
Proposed Subdivision
at Hope Street, Cooktown

STORMWATER DRAINAGE
LONGITUDINAL SECTION



KFB ENGINEERS
ABN 73 618 014 261

Civil & Structural
1/38-42 Pease St, Cairns | PO Box 927, Cairns Q 4870
P: 07 40320492 | F: 07 40320092
E: email@kfbeng.com.au

JOB No:	K-9168
SHEET:	C09
SCALE:	AS SHOWN (@ A1)

LOCATION				TIME		SUB-CATCHMENT RUNOFF						INLET DESIGN						DRAIN DESIGN										HEADLOSSES										PART FULL		DESIGN LEVELS												
				t _c	I	C10	C	A	C×A	+CA	Q					Q _g	Q _b		t _c	I	+CA	Q _f	Q _m	Q _s	Q _p	L	S		V	T				V2/2g	K _u	h _u	K _l	h _l	K _w	h _w	S _f	h _f	D _p	V _p								
DESIGN ARI	STRUCTURE No.	DRAIN SECTION	SUB-CATCHMENTS CONTRIBUTING	SUB-CATCHMENT TIME OF CONC.	RAINFALL INTENSITY	10yr RUNOFF CO-EFFICIENT	CO-EFFICIENT OF RUNOFF	SUB-CATCHMENT AREA	EQUIVALENT AREA	SUM OF (C × A)	SUB-CATCHMENT DISCHARGE	FLOW IN K&C (INC. BYPASS)	ROAD GRADE AT INLET	FLOW dV	MINOR FLOW ROAD CAPACITY	INLET TYPE	FLOW INTO INLET	BYPASS FLOW	BYPASS STRUCTURE No.	CRITICAL TIME OF CONC.	RAINFALL INTENSITY	TOTAL (C × A)	MAJOR TOTAL FLOW	MAJOR SURFACE FLOW CAPACITY	MAJOR SURFACE FLOW	PIPE FLOW	REACH LENGTH	PIPE GRADE	PIPE / BOX DIMENSIONS (CLASS)	FLOW VELOCITY FULL (PIPE GRADE VELOCITY)	TIME OF FLOW IN REACH	STRUCTURE CHART No.	STRUCTURE RATIOS FOR 'K' VALUE CALCULATIONS	VELOCITY HEAD	U/S HEADLOSS COEFFICIENT	U/S PIPE STRUCT. HEADLOSS	LAT. HEADLOSS CO-EFFICIENT	LAT. PIPE STRUCT. HEADLOSS	W.S.E CO-EFFICIENT	CHANGE IN W.S.E	PIPE FRICTION SLOPE	PIPE FRICTION HEADLOSS (L × S _f)	DEPTH	VELOCITY	OBVERT LEVELS	DRAIN SECTION H.G.L.	UPSTREAM H.G.L.	W.S.E.	SURFACE OR K&C INVERT LEVEL	STRUCTURE No.		
yrs				min	mm/h			ha	ha	ha	l/s	l/s	%	m2/s	l/s		l/s	l/s		min	mm/h	ha	l/s	l/s	l/s	l/s	m	%	mm	m/s	min			m		m		m	%	m	m	m/s	m	m	m	m	m	m	m	m	m	m
5 100	5/1	5/1 to 4/1	5/1	5.00 5.00	214 368		0.67 0.84	0.561 0.561	0.376 0.471	0.376 0.471	224 482	224 17.00		0.23	469	1 (UNLOCKED 0)	116 107		2/1	5.00 5.00	214 368	0.376 0.471	481	1184	365 (Pipe flow= Grate flow)	116 37.800	9.69	375(2)	1.05 (4.94)	0.60		Q _g 0.116 Q _o 0.116 Do 375 CHART 32: Vo2/ZgDo 0.15 H/Do 0.00 Kg side flow 6.96 end flow 5.48	0.056	6.96	0.391			6.96	0.391	0.44	0.166	0.118 (0.101 ly)	3.92 (3.61 ly)	30.210 26.549	30.210 26.841	30.601	30.601	31.145		5/1		
5 100	4/1	4/1 to 3/1	5/14/1	5.00 5.00	214 368		0.67 0.84	0.419 0.419	0.281 0.352	0.281 0.352	167 360	167 2.80		0.13	190	1 (UNLOCKED 0)	98 69		3/1	5.60 5.60	206 356	0.657 0.823	814		206 (Pipe flow= Sum upstr atten flows)	37.471	4.36	375(2)	1.87 (3.31)	0.33		Q _g 0.094 Q _o 0.206 Do 375 Angle 43 Chart 39 S/Do 2.5 chartdeg Du/Do 1.00 K0 1.80 K0.5 1.91 Qu/Do 0.54 Cg 0.94 K 1.90 S/Do 2.0 K0 1.98 K0.5 2.10 K 2.09 S/Do 15 K0 2.39 K0.5 2.52 K 2.51	0.178	1.75	0.312	Interp val for S/Do 2.00 Kw 2.09 CHART 38 S/Do 2.0 K0 1.84 K0.5 1.75 K 1.75 S/Do 15 K0 2.05 K0.5 1.84 K 1.86 Interp val for S/Do 2.00 Ku 1.75		2.09 0.372	1.39	0.519	0.201 (0.169 ly)	3.41 (3.16 ly)	26.529 24.895	26.529 25.318	26.841	26.901	27.484		4/1			
5 100	3/1	3/1 to 2/1	5/14/13/1	5.00 5.00	214 368		0.67 0.84	0.254 0.254	0.170 0.213	0.170 0.213	101 218	170 13.80		0.19	422	1 (UNLOCKED 0)	99 71		LOST	5.93 5.93	203 350	0.827 1.036	1007		297 (Pipe flow= Sum upstr atten flows)	15.009	6.86	375(2)	2.69 (4.15)	0.09		Q _g 0.094 Q _o 0.297 Do 375 CHART 33 Angle 4 S/Do 2.5 Du/Do 1.00 Qg/Qo 0.32 K 1.12 S/Do 2.18 cor 0.08 Ku 1.20 Kw 1.20	0.369	1.20	0.443			1.20	0.443	2.88	0.432	0.220 (0.179 ly)	4.42 (4.08 ly)	24.875 23.846	24.875 24.060	25.318	25.318	25.830		3/1		
5 100	2/1	2/1 to 1/1	5/14/13/12/1	5.00 5.00	214 368		0.67 0.84	0.030 0.030	0.020 0.025	0.020 0.025	12 26	119 0.00			0	1 (UNLOCKED 0)	79 40		LOST	6.02 6.02	202 348	0.847 1.061	1026		371 (Pipe flow= Sum upstr atten flows)	7.915	4.28	450(2)	2.33 (3.71)	0.06		Q _g 0.075 Q _o 0.371 Do 450 CHART 34 Angle 19 Case3 S/Do 2.5 Du/Do 0.83 Qg/Qo 0.20 K 0.57 S/Do 1.49 cor 0.23 Ku 0.80 Kw 0.80	0.277	0.80	0.221			0.80	0.221	1.69	0.134	0.259 (0.208 ly)	3.92 (3.58 ly)	23.839 23.500	23.839 23.350	24.060	24.060	24.781		2/1		



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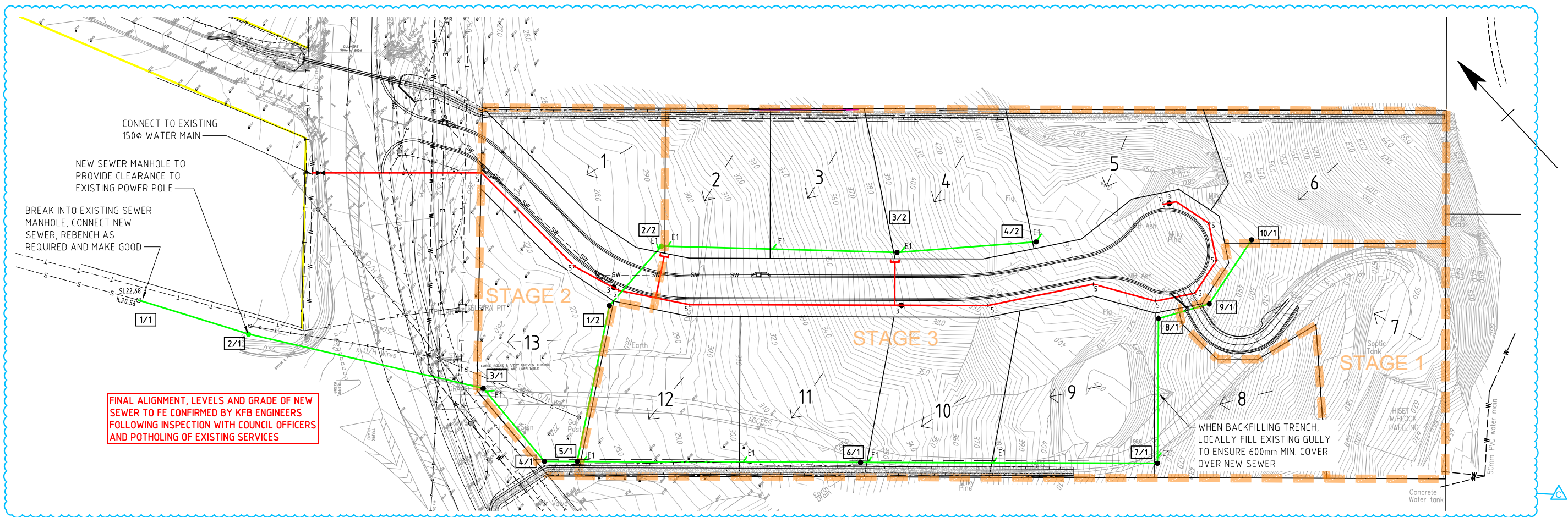
STORMWATER DRAINAGE
CALCULATIONS



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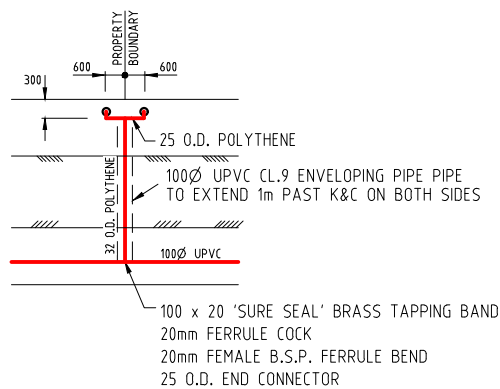
JOB No:	K-9168		
SHEET:	C10	c	
SCALE: AS SHOWN (@ A1)			



PLAN
SCALE 1:500 (A1)

SEWER LEGEND

- 1/4 MANHOLE No. / LINE NUMBER
- UPVC SEWER MAIN (Ø150 U.N.O.)
- MANHOLE
- E1 HOUSE CONNECTION BRANCH / TYPE
- 42.0 EXISTING SURFACE CONTOURS (0.5m INTERVAL)
- s-s EXISTING SEWER LINE AND MANHOLE
- SW STORMWATER DRAINAGE PIPE



DOUBLE
TYPICAL ALLOTMENT WATER CONNECTIONS

WATER RETICULATION

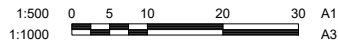
1. WATER MAIN TO BE 100 DIA CLASS CLASS 16 uPVC.
2. ALL MAINS ARE ON 2.80m ALIGNMENT.
3. CONSTRUCTION OF THE WATER RETICULATION SYSTEM SHALL BE IN ACCORDANCE WITH THE PROCEDURES, SPECIFICATIONS AND DRAWINGS INCLUDING REQUIREMENTS FOR "AS CONSTRUCTED" DRAWINGS AS CONTAINED IN THE CURRENT ISSUE OF THE FNQROC "REGIONAL DEVELOPMENT MANUAL".
4. CONNECTIONS TO EXISTING COUNCIL MAINS TO BE MADE BY C.S.C. THE CONTRACTOR IS TO SUPPLY ALL ASSOCIATED FITTINGS.
5. THE CONTRACTOR IS TO LOCATE ALL EXISTING SERVICES IN THE WORKS AREA PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SEWERAGE RETICULATION

1. ALL GRAVITY SEWER PIPES SHALL BE 150 DIA uPVC (RRJ) CLASS SN8 UNLESS NOTED OTHERWISE.
2. REFER TO THE SEWERAGE LONGITUDINAL SECTION FOR SEWER PIPE GRADES, INVERT LEVELS, STORMWATER CLASHES, ETC.
3. CONSTRUCTION OF THE SEWERAGE RETICULATION SYSTEM SHALL BE IN ACCORDANCE WITH THE PROCEDURES, SPECIFICATIONS AND DRAWINGS INCLUDING REQUIREMENTS FOR "AS CONSTRUCTED" DRAWINGS AS CONTAINED IN THE CURRENT ISSUE OF THE FNQROC "REGIONAL DEVELOPMENT MANUAL".
4. MANHOLES ADJACENT ROAD BOUNDARIES SHALL BE ON A 1.5m ALIGNMENT U.N.O. ALL OTHER MANHOLES SHALL BE ON A 0.8m ALIGNMENT U.N.O.
5. SEWER MANHOLES SHALL BE FINISHED 50mm ABOVE FINISHED SURFACE LEVEL IN ALLOTMENTS AND FLUSH IN ROAD RESERVES.
6. EXISTING LOTS TO BE REINSTATED AFTER CONSTRUCTION OF THE SEWER.
7. ALL HCB OBLIQUE JUNCTIONS SHALL BE CONSTRUCTED USING FIBREGLASS HEAVY DUTY SEWER DROPS.
8. ALL HOUSE CONNECTION BRANCHES ARE TO BE BROUGHT TO FINISHED SURFACE LEVEL TERMINATING WITH A VERTICAL RISER FITTED WITH A BOLTED TRAP SCREW AND SURROUND. A CAPPED STAR PICKET PAINTED RED SHALL BE INSTALLED AT A MINIMUM HEIGHT OF 1.0 m ABOVE GROUND LEVEL IMMEDIATELY ADJACENT TO THE RISER.
9. INSTALL PIPE ANCHOR BLOCKS TO ALL SEWERS AT GRADES GREATER THAN 1 ON 6 IN ACCORDANCE WITH FNQROC STD DWG No. S3015 AND WSA.
10. THE CONTRACTOR SHALL MAKE ALL APPLICATIONS AND PAY ALL FEES TO COUNCIL FOR THE SEWERAGE WORKS AND SHALL ARRANGE AND MANAGE COUNCIL'S INSPECTIONS AND TESTING OF THE WORKS. A COPY OF COUNCIL'S INSPECTION CERTIFICATE SHALL BE PROVIDED BY THE CONTRACTOR TO THE OWNER PRIOR TO PRACTICAL COMPLETION.

WATER LEGEND

- W EXISTING WATER MAIN
- SV EXISTING SLUICE/GATE VALVE
- PH EXISTING HYDRANT
- S EXISTING SEWER
- D EXISTING STORMWATER DRAINAGE
- 100 uPVC WATER MAIN CLASS '16' RUBBER RING JOINTED
- 1 SLUICE VALVE CLASS '14' COMPLETE WITH C.I. COVER BOX, CONCRETE MARGIN AND MARKER
- 2 50 BRONZE GATE VALVE COMPLETE WITH C.I. COVER BOX, CONCRETE MARGIN AND MARKER
- 3 80 SPRING HYDRANT COMPLETE WITH RISER, TEE, C.I. COVER BOX, CONCRETE MARGIN AND MARKER
- 4 TEE OR WYE WITH CONCRETE THRUST BLOCK
- 5 BEND TO SUIT WITH CONCRETE THRUST BLOCK
- 6 SINGLE CONNECTION TO 'LOOP MAIN'
- 7 DEAD END CAP WITH CONCRETE THRUST BLOCK
- SW PROPOSED STORMWATER



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WATER AND SEWERAGE
RETICULATION



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SHEET: C11 | c
SCALE: AS SHOWN (@ A1)

JUNCTION LINE No
MANHOLE COVER
MANHOLE DROP
MANHOLE No

				2						
	RECTANGULAR TYPE "B"	CIRCULAR TYPE "B"	RECTANGULAR TYPE "B"	RECTANGULAR TYPE "B"	CIRCULAR TYPE "B"	CIRCULAR TYPE "B"	CIRCULAR TYPE "B"	RECTANGULAR TYPE "B"	RECTANGULAR TYPE "B"	RECTANGULAR TYPE "B"
	TYPE "A"	TYPE "C"	TYPE "A"	TYPE "A"	TYPE "C"	TYPE "A"	TYPE "A"	TYPE "A"	TYPE "A"	TYPE "A"
	1/1	2/1	3/1	4/1	5/1	6/1	7/1	8/1	9/1	10/1

WHEN BACKFILLING TRENCH,
LOCALLY FILL EXISTING GULLY
TO ENSURE 600mm MIN. COVER
OVER NEW SEWER

FINAL ALIGNMENT, LEVELS AND GRADE OF NEW
SEWER 1/1 TO 3/1 BE CONFIRMED BY KFB ENGINEERS
FOLLOWING INSPECTION WITH COUNCIL OFFICERS
AND POTHOLING OF EXISTING SERVICES

BREAK INTO EXISTING SEWER
MANHOLE, CONNECT NEW
SEWER, REBENCH AS
REQUIRED AND MAKE GOOD

DIAMETER	150 Ø uPVC									
GRADE	1 on 24.64 4.06%	1 on 27.32 3.66%	1 on 17.21 5.81%	1 on 21.99 4.55%	1 on 18.16 5.51%	1 on 5.56 17.98%	1 on 134.84 0.74%	1 on 7.2 13.88%	1 on 7.14 14%	
LENGTH	27.664	57.867	22.904	7.868	68.136	71.349	34.761	12.722	18.482	
DATUM R.L.	16									
R.L. TOP OF MANHOLE		23.044								
JUNCTION INVERT LEVEL	20.56		25.855							
MANHOLE DEPTH LID TO INVERT		1.264								
SEWER PIPE INVERT LEVEL	20.7	21.78	23.9	24.42	25.69	25.74	26.05	26.05	26.05	26.05
DESIGN SURFACE LEVEL		23.019	25.83		26.936	27.432				
EXISTING SURFACE LEVEL	27.66	23.19	25.73	26.78	27.32	27.32	27.32	27.32	27.32	27.32
CHAINAGE	0	27.66	85.53	108.44	116.3	184.44	255.79	290.55	303.27	321.75

SEWER LINE "1"

JUNCTION LINE No
MANHOLE COVER
MANHOLE DROP
MANHOLE No

1				
	RECTANGULAR TYPE "B"	CIRCULAR TYPE "B"	RECTANGULAR TYPE "B"	RECTANGULAR TYPE "B"
	TYPE "A"	TYPE "A"	ILLEGAL	
	5/1	1/2	2/2	3/2

CH 47.88 IL 26.98 375 Ø RCP

DIAMETER	150 Ø uPVC			
GRADE	1 on 5.98 16.74%			
LENGTH	38.233	19.03	56.62	33.523
DATUM R.L.	18			
R.L. TOP OF MANHOLE		27.698	28.735	37.618
JUNCTION INVERT LEVEL	26.05			43.15
MANHOLE DEPTH LID TO INVERT		1.348	2.205	1.468
SEWER PIPE INVERT LEVEL	26.05	26.35	26.53	36.15
DESIGN SURFACE LEVEL		27.673	28.71	37.593
EXISTING SURFACE LEVEL	38.23	27.52	28.93	38.31
CHAINAGE	0	38.23	57.26	113.88

SEWER LINE "2"

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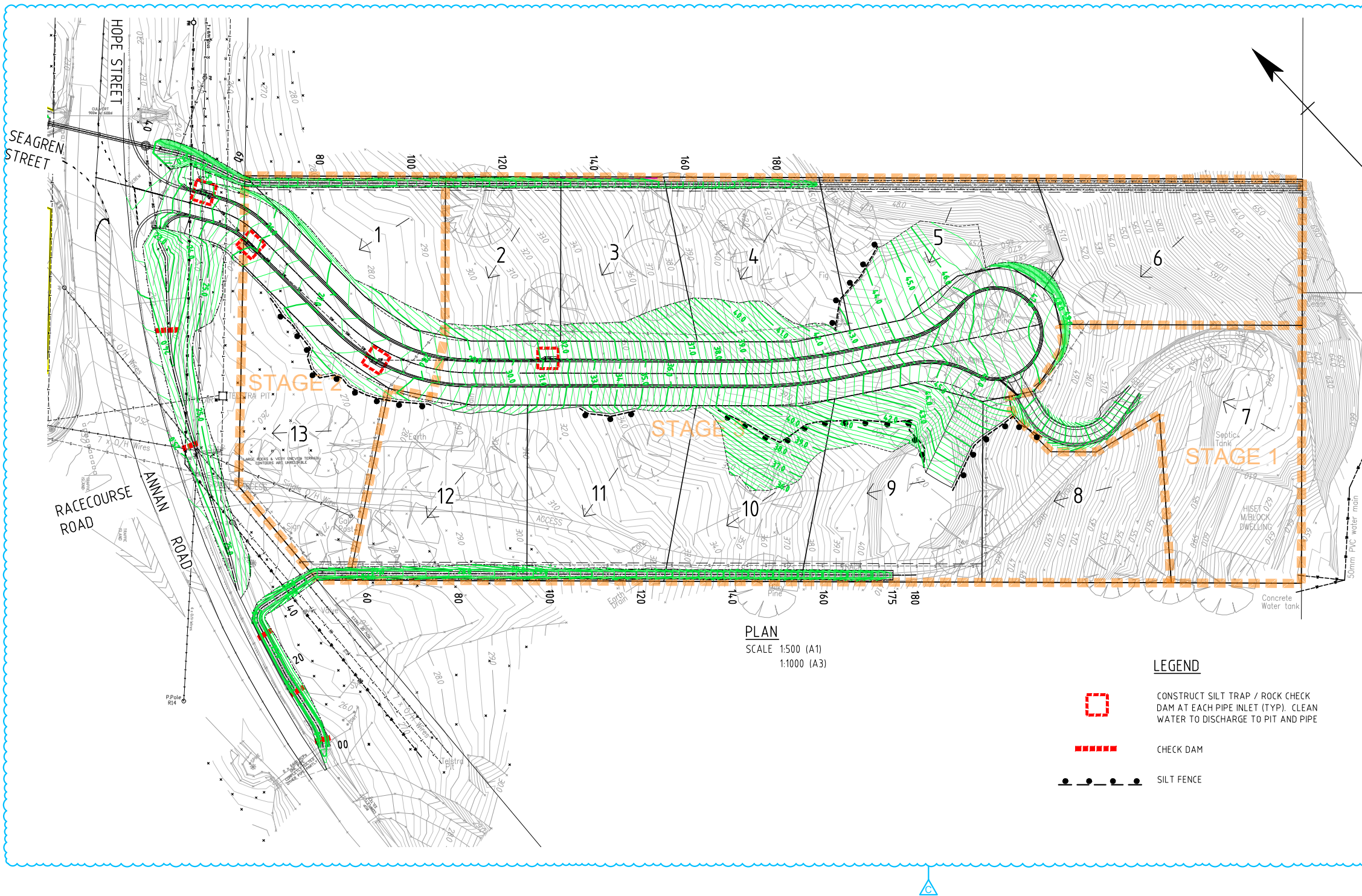
SEWERAGE LONGITUDINAL
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EROSION SEDIMENT CONTROL STRATEGY AND ENVIRONMENTAL PROTECTION

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT AND PRESERVE THE NATURAL ENVIRONMENT AND SHALL AVOID ENVIRONMENTAL POLLUTION IN ACCORDANCE WITH THE ENVIRONMENTAL PROTECTION ACT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INCORPORATION OF APPROPRIATE CONTROL AND MANAGEMENT MEASURES CONFORMING TO THE REQUIREMENTS OF THE ACT AND THE RELEVANT AUTHORITIES.
3. THE EROSION AND SEDIMENT CONTROL STRATEGY, SHOWN OR NOTED ON THESE DRAWINGS, HAS BEEN PROVIDED AS A GUIDE.
4. THE CONTRACTOR SHALL PROVIDE AN EROSION SEDIMENT CONTROL PLAN (ESCP) FOR EACH PHASE OF HIS PROPOSED CONSTRUCTION PROGRAM AND WORK METHODS, AND IS WHOLLY RESPONSIBLE FOR THE IMPLEMENTATION, CONTROL AND MANAGEMENT OF SUCH PLAN.
5. THE CONTRACTOR SHALL INSTALL ALL DEVICES/MEASURES NECESSARY TO COMPLY WITH THE PROVISIONS OF THE ESCP FNQROC DEVELOPMENT MANUAL, THE ENVIRONMENTAL PROTECTION ACT, AND COUNCIL REQUIREMENTS.
6. THE ESCP SHALL INCLUDE SUCH MEASURES AS SHOWN ON THE STRATEGIC PLAN.
7. KFB ENGINEERS DOES DO NOT ACCEPT RESPONSIBILITY FOR THE CONTRACTOR'S DESIGN & IMPLEMENTATION OF HIS ESCP NOR THE CONSEQUENCES OF HIS FAILURE TO APPLY ALL REASONABLE CONTROLS.
8. ALL STORMWATER INLETS, TRENCHES, ETC. SHALL BE CONSTRUCTED IN SUCH A WAY AS TO PREVENT THE ENTRY OF SEDIMENT INTO THE STRUCTURE. IF IT IS NECESSARY TO DISCHARGE INTO SUCH INLETS THEN SUITABLE SILT TRAPS SHALL BE CONSTRUCTED UPSTREAM OF THE INLETS SUCH THAT OVERFLOW FROM TRAPS ENTERS THE DRAINS AFTER THE SEDIMENT HAS DROPPED OUT.
9. ALL SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL THE END OF THE MAINTENANCE PERIOD, UNLESS NOTED OTHERWISE. ALL SEDIMENT CONTROL DEVICES ARE TO BE FULLY MAINTAINED IN AN EFFECTIVE WORKING CONDITION DURING CONSTRUCTION AND THE MAINTENANCE PERIOD. THE CONTRACTOR SHALL ENSURE THAT ALL SEDIMENT CONTROL DEVICES ARE KEPT FREE OF SEDIMENT BUILD-UP.
10. SEDIMENT FENCES SHALL BE INSTALLED SUCH THAT THE BASE OF THE FENCE IS PLACED 150mm MINIMUM BELOW GROUND LEVEL, AND ANCHORED SECURELY IN SUCH POSITION.
11. ALL VEHICLE EXIT POINTS SHALL HAVE SHAKER GRIDS, WASH BAYS OR SIMILAR TO PREVENT VEHICLES FROM TRACKING SOIL AND MUD OFF SITE.
12. ALL SOIL STOCKPILES SHALL BE PROTECTED AGAINST WIND EROSION BY COVERING AND AGAINST STORMWATER RUNOFF BY SILT FENCES AT THE DOWNHILL SLOPES. STOCKPILE LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR AND EROSION/CONTROL MEASURES IMPLEMENTED & MAINTAINED FOR THE LIFE OF THE STOCKPILE.
13. THE CONTRACTOR SHALL INSTALL TURF STRIPS BEHIND ALL KERB & CHANNEL, ADJACENT CONCRETE INVERTS AND ALLOTMENT DRAINS ETC. WHERE DIRTY WATER SHEET FLOWS INTO DRAINAGE COLLECTION SYSTEMS.
14. DIVERT CLEAN WATER AROUND AREAS OF CONSTRUCTION.
15. ALL ROAD SHOULDERS, FOOTPATHS, DRAINS AND CUT BATTERS UP TO 1 on 4 SLOPE SHALL BE DRILL SEEDED WITH APPROVED GRASS SPECIES, FERTILIZED AND MAINTAINED FOR THE REQUIRED MAINTENANCE PERIOD.
16. HYDROMULCH ALL CUT AND FILL BATTERS STEEPER THAN 1 on 4, WITH APPROVED SUITABLE GRASS SPECIES AND MAINTAINED FOR THE REQUIRED MAINTENANCE PERIOD.
17. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY BERMS AT THE TOP OF ALL BATTERS TO DIRECT AND CONTROL RUNOFF TO A SINGLE LOCATION. THE DISCHARGE OVER THE BATTER SHALL BE THROUGH A STABILIZED CHUTE ADDRESSED IN THE CONTRACTORS PLAN, e.g. REINFORCED TURF, GEOTEXTILE, CONCRETE OR SIMILAR.
18. ALL WORKS AND MATERIALS SHALL BE IN ACCORDANCE WITH FNQROC.

PROTECTION OF VEGETATION / SLOPE PROTECTION

1. EXISTING VEGETATION DETAILED ON THE PLAN MUST BE RETAINED WHERE POSSIBLE.

SEDIMENT CONTROL TURF DETAILS

1. PROVIDE ONE STRIP OF TURF ADJACENT TO ALL KERBS, CONCRETE SLABS, DRIVEWAYS, BATTER CHUTES ETC. WITH ONE METRE LONG RETURNS AT 10 METRE CENTRES WHERE LONGITUDINAL GRADES EXCEED 5%. PROVIDE TWO STRIPS OF TURF TO INVERT OF ALL EARTH CATCH AND DIVERSION DRAINS.

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1:1000 A3

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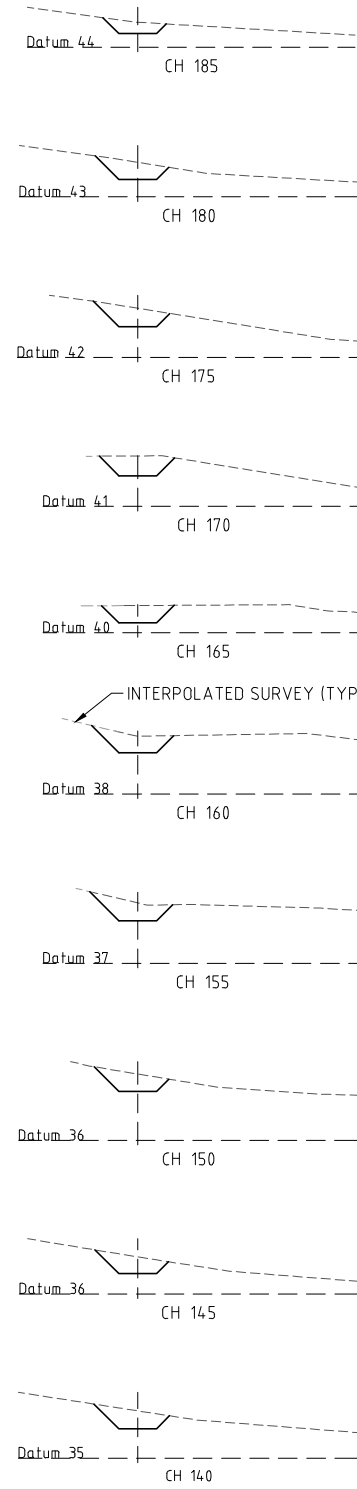
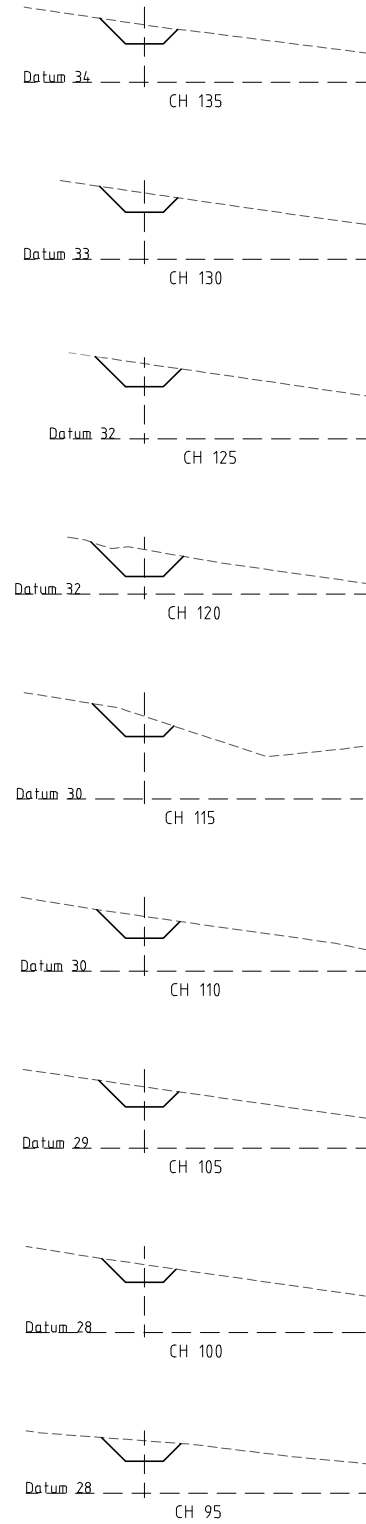
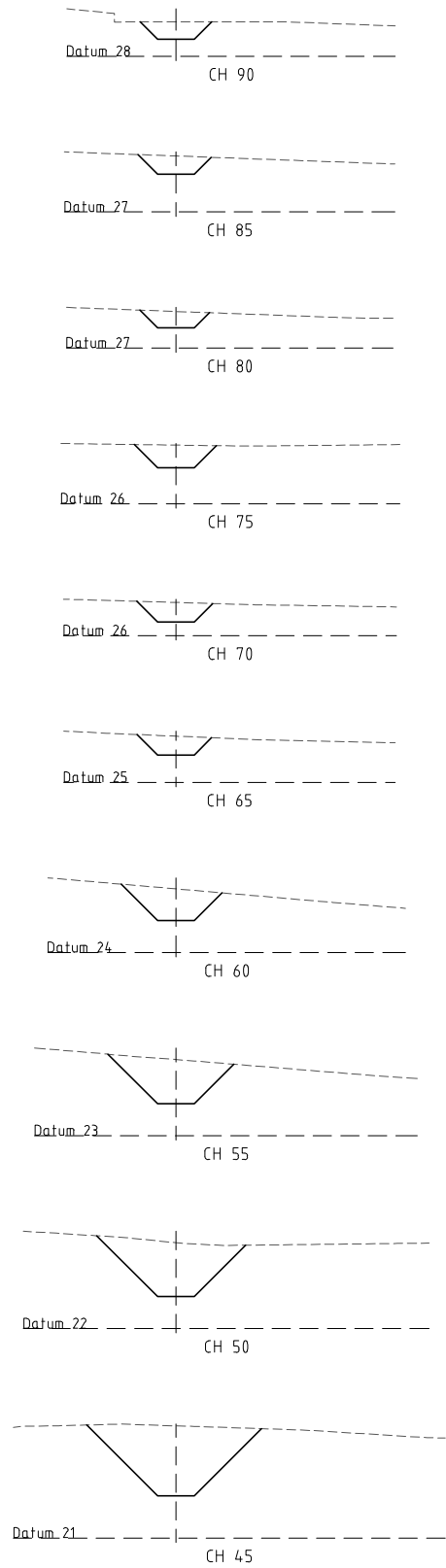
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SHEET:	C13 C
SCALE:	1:500 (@ A1)



CATCH DRAIN CROSS SECTIONS BASED ON LONGITUDINAL SECTION ON DWG C06 AND SHOWN FOR INFORMATION ONLY. DRAIN DIMENSIONS AND DEPTH TO BE IN ACCORDANCE WITH CATCH DRAIN DETAIL ON DWG C04.

COOK SHIRE COUNCIL
DIGITALLY STAMPED
APPROVED PLAN

Development Application: Development Permit for Operational Works Associated with Reconfiguring a Lot (1 into 12 Lots)

Lot: 23 on SP219110

Referred to in Cook Shire Council's Decision Notice

Approval Date: 29 August 2024
Application Number: DA/4590



ISSUED FOR
PRELIMINARY
NOT FOR
CONSTRUCTION

1:100 0 1 2 3 4 5 6 A1
1:200 A3

A	10/08/24	INITIAL ISSUE		KCDD	EWK
No.	DATE	ISSUE / REVISIONS			DRN
DRAWING FILE:		XREF FILE:			

Mr Matthew Carey
Proposed Subdivision
at Hope Street, Cooktown

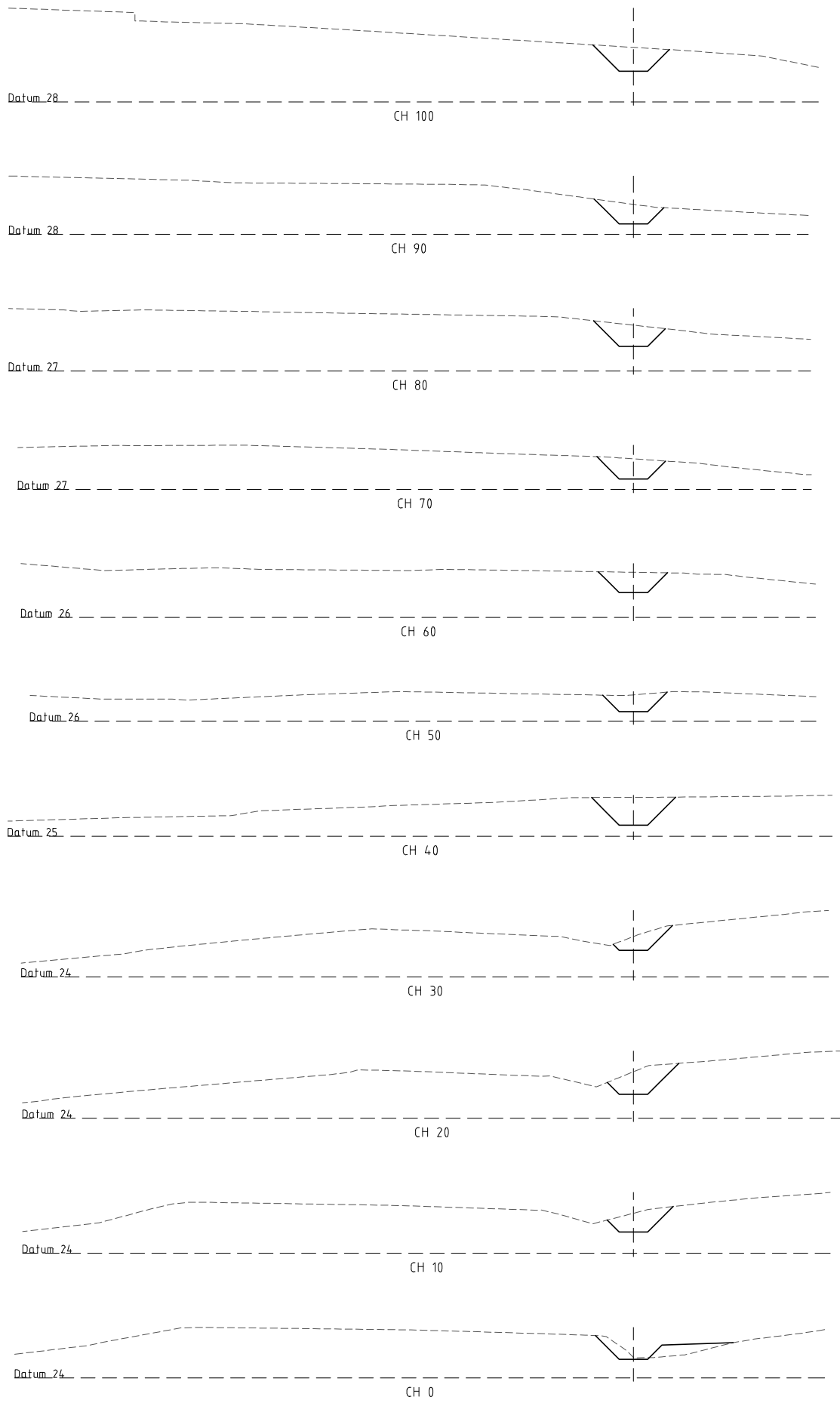
CATCH DRAIN 1
CROSS SECTIONS



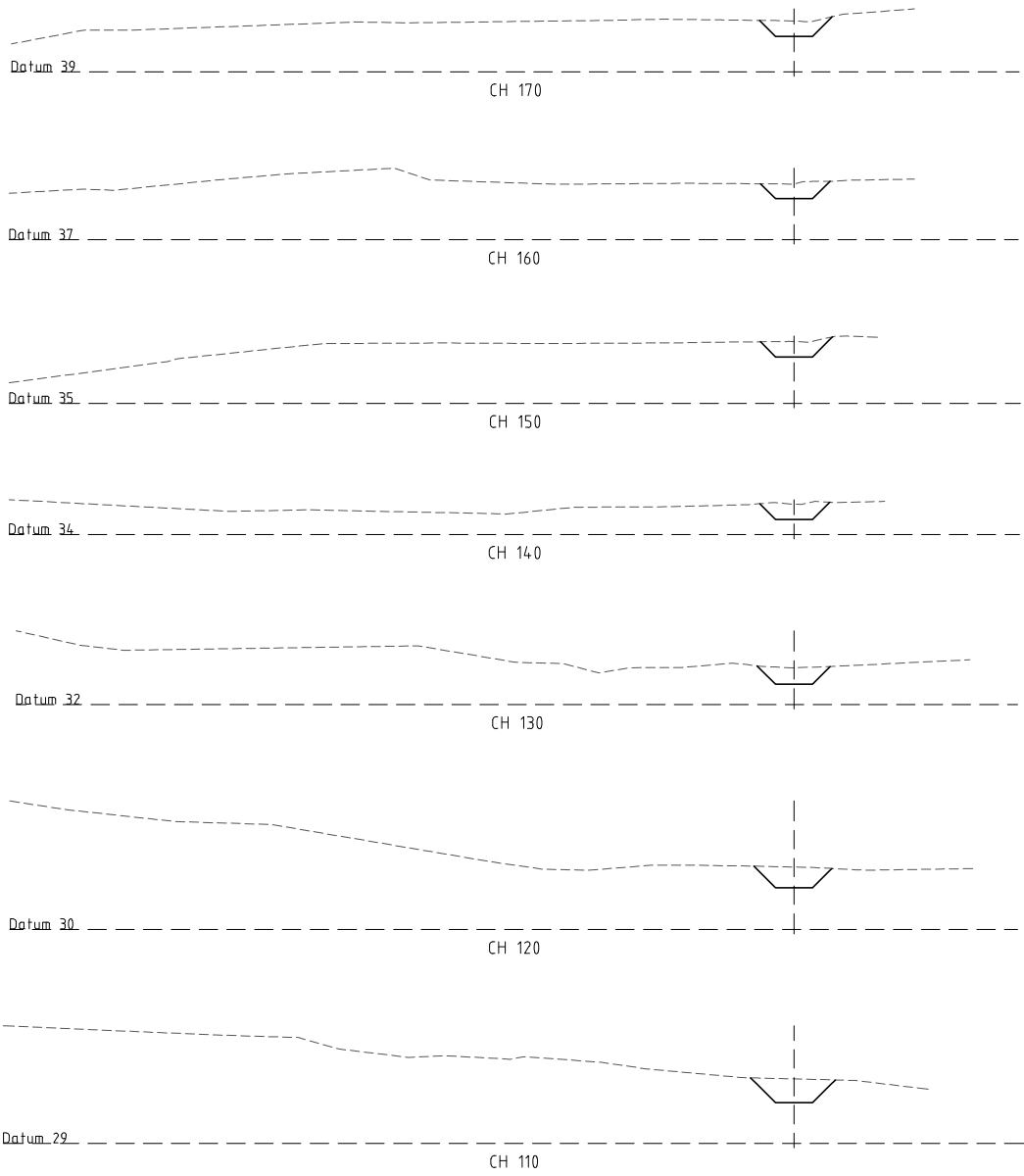
KFB ENGINEERS
ABN 73 618 014 261

Civil & Structural
1/38-42 Pease St, Cairns | PO Box 927, Cairns Q 4870
P: 07 40320492 | F: 07 40320092
E: email@kfbeng.com.au

JOB No:	K-9168	
SHEET:	C14	A
SCALE: AS SHOWN (@ A1)		



CATCH DRAIN CROSS SECTIONS BASED ON LONGITUDINAL SECTION ON DWG C06 AND SHOWN FOR INFORMATION ONLY. DRAIN DIMENSIONS AND DEPTH TO BE IN ACCORDANCE WITH CATCH DRAIN DETAIL ON DWG C04.



DRAIN 2 CROSS SECTIONS
SCALE 1:100 H 1:100 V



COOK SHIRE COUNCIL

DIGITALLY STAMPED
APPROVED PLAN

Development Application: Development Permit for Operational Works Associated with Reconfiguring a Lot (1 into 12 Lots)

Lot: 23 on SP219110

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ISSUED FOR
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A	10/08/24	INITIAL ISSUE		KCDD	EWK
No.	DATE	ISSUE / REVISIONS	DRN	CHKD	
DRAWING FILE:		XREF FILE:			

Mr Matthew Carey
Proposed Subdivision
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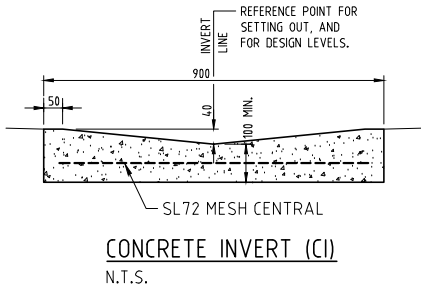
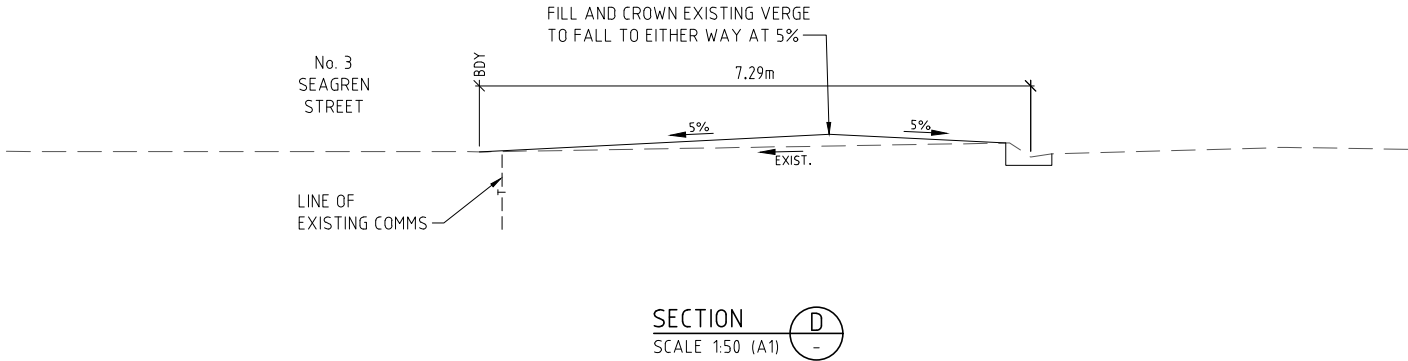
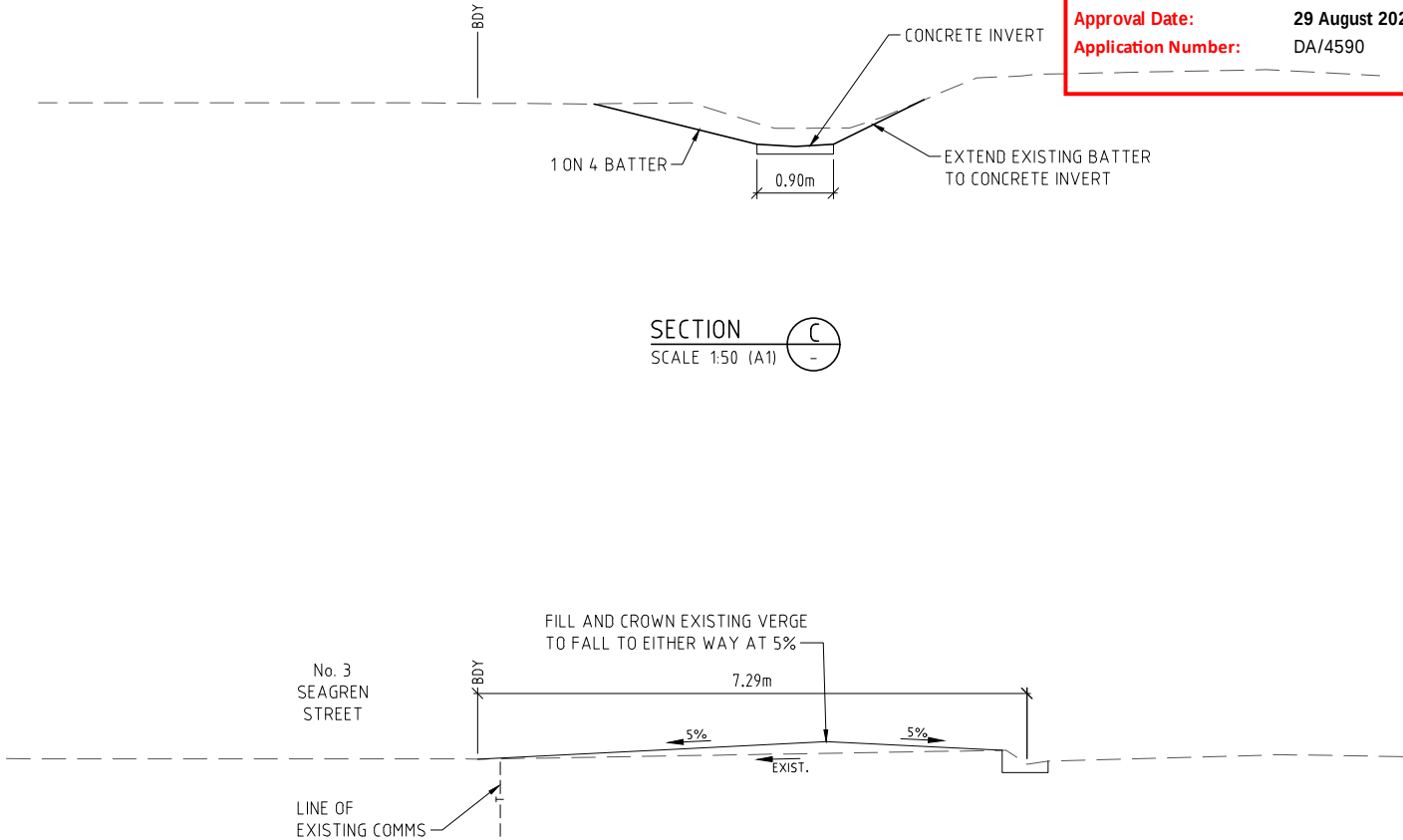
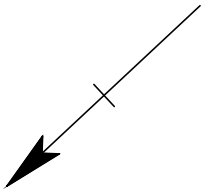
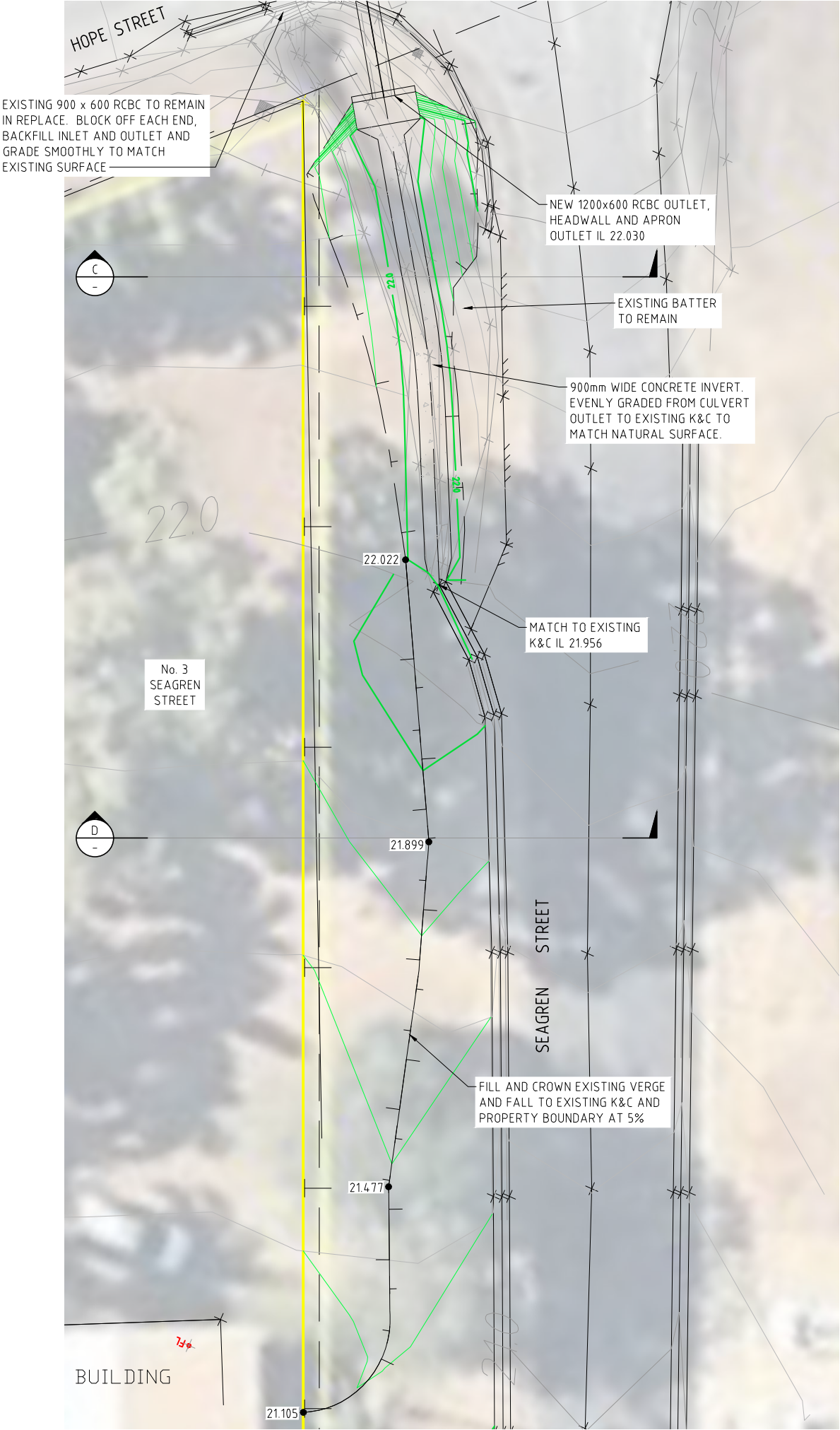
CATCH DRAIN 2
CROSS SECTIONS



KFB ENGINEERS
ABN 73 618 014 261

Civil & Structural
1/36-42 Pease St, Cairns | PO Box 927, Cairns Q 4870
P: 07 40320492 | F: 07 40320092
E: email@kfbeng.com.au

JOB No:	K-9168
SHEET:	C15 A
SCALE:	AS SHOWN (@ A1)



COOK SHIRE COUNCIL

DIGITALLY STAMPED

APPROVED PLAN

Development Application: Development Permit for Operational Works Associated with Reconfiguring a Lot (1 into 12 Lots)

Lot: 23 on SP219110

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Approval Date: 29 August 2024

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ISSUED FOR

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A	10/08/24	INITIAL ISSUE		KCDD	EWK
No.	DATE	ISSUE / REVISIONS		DRN	CHKD
DRAWING FILE:		XREF FILE:			

Mr Matthew Carey
Proposed Subdivision
at Hope Street, Cooktown

SEAGREN STREET
ON-STREET WORKS



KFB ENGINEERS
ABN 73 618 014 261

Civil & Structural
1/38-42 Pease St, Cairns | PO Box 927, Cairns Q 4870
P: 07 40320492 | F: 07 40320092
E: email@kfbeng.com.au

JOB No:	K-9168
SHEET:	C16 A
SCALE:	1:250 (@ A1)

Attachment 3 – Notice of Decision – Statement of Reasons (AD2024/0005055)

NOTICE ABOUT DECISION – STATEMENT OF REASONS

This Notice is prepared in accordance with s63(5) and s83(9) of the Planning Act 2016 to provide information about a decision that has been made in relation to a development application. The purpose of the Notice is to enable a public understanding of the reasons for the planning decision, specifically having regard to:

- the relevant parts of the Planning Scheme and Assessment Benchmarks against which the application was assessed; and*
- any other information, documents or other material Council was either required to, or able to, consider in its assessment.*

All terms used in this Notice have the meanings given them in the Planning Act 2016 or otherwise their ordinary meaning.

APPLICATION DETAILS

Application No:	DA/4590
Applicant:	MTC Tower Pty Ltd c/ KFB Engineers
Proposal:	Development Permit for Operational Works
Description of the Development:	Operational Works Associated with Development Permit DA/4310 for Reconfiguring a Lot (1 Lot into 12 Lots)
Street Address:	2 Hope Street, Cooktown
Real Property Description:	Lot 23 on SP219110
Planning Scheme:	Cook Shire Council Planning Scheme 2017 v2.0
Land Zoning:	Low Density Residential Zone
Assessment Type:	Code Assessment

DECISION DETAILS

Type of Decision:	Approval with Conditions
Type of Approval:	Development Permit for Operational Works
Date of Decision:	29 August 2024

ASSESSMENT BENCHMARKS

The following Assessment Benchmarks applied to the development from the following Categorising Instruments:

Assessment Benchmarks	Comment
<i>Planning Regulation 2017</i> (Schedule 9)	Schedule 9 of the Planning Regulation 2017 is not applicable as the application is not for building work under the Building Act
<i>Planning Regulation 2017</i> (Schedule 10)	Schedule 10 of the Planning Regulation 2017 is not applicable as the development application does not include any referrable works.
Regional Plan	Section 2.2 of the Planning Scheme identifies that the Cape York Regional Plan has been adequately reflected in the Planning Scheme. A separate assessment against the Regional Plan is not required.
State Planning Policy (SPP), Part E	Section 2.1 of the Planning Scheme identifies that the superseded version of the State Planning Policy is integrated in the Planning Scheme. Further, assessment against the SPP was undertaken at the time of assessment of the Reconfiguring a Lot approval.
Temporary State Planning Policy	There are no Temporary State Planning Policies.

Local Categorising Instrument (Cook Shire Council Planning Scheme 2017):

Assessment against the relevant provisions of the planning scheme was undertaken at the Reconfiguring a Lot stage (Development Permit DA/4310). The development demonstrated compliance with the relevant benchmarks. The works forming part of this application for Operational Work have either been designed to meet the requirements of the Works, Services and Infrastructure Code and FNQROC Development Manual, or conditioned to comply.

Local Categorising Instrument (Variation Approval)

Not Applicable

Local Categorising Instrument (Temporary Local Planning Instrument)

Not Applicable

PUBLIC NOTIFICATION

Not Applicable

REASONS FOR THE DECISION

The application is **approved** on the following grounds:

- a. An assessment was made against the related Development Permit for Reconfiguring a Lot and the applicable assessment benchmarks and the proposed development demonstrated compliance.

REASONS FOR APPROVAL DESPITE NON-COMPLIANCE WITH ASSESSMENT BENCHMARKS

Not Applicable

ADDITIONAL RELEVANT MATTERS FOR IMPACT ASSESSMENT

Not Applicable

OTHER MATTERS PRESCRIBED BY THE PLANNING REGULATION 2017

Not Applicable

OTHER DETAILS

If you wish to obtain more information about Council's decision, including a copy of Council's Decision Notice and any conditions or plans relating to the development, please refer to Council's webpage.

Attachment 4 - Extract of Appeal Provisions (Chapter 6 part 1 of the *Planning Act 2016*)

Chapter 6 Dispute resolution

Part 1 Appeal rights

229 Appeals to tribunal or P&E Court

- (1) Schedule 1 states—
- (a) matters that may be appealed to—
 - (i) either a tribunal or the P&E Court; or
 - (ii) only a tribunal; or
 - (iii) only the P&E Court; and
 - (b) the person—
 - (i) who may appeal a matter (the *appellant*); and
 - (ii) who is a respondent in an appeal of the matter; and
 - (iii) who is a co-respondent in an appeal of the matter; and
 - (iv) who may elect to be a co-respondent in an appeal of the matter.
- (2) An appellant may start an appeal within the appeal period.
- (3) The *appeal period* is—
- (a) for an appeal by a building advisory agency—10 business days after a decision notice for the decision is given to the agency; or
 - (b) for an appeal against a deemed refusal—at any time after the deemed refusal happens; or
 - (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises—20 business days after a notice is published under section 269(3)(a) or (4); or

- (d) for an appeal against an infrastructure charges notice—20 business days after the infrastructure charges notice is given to the person; or
- (e) for an appeal about a deemed approval of a development application for which a decision notice has not been given—30 business days after the applicant gives the deemed approval notice to the assessment manager; or
- (f) for an appeal relating to the *Plumbing and Drainage Act 2018*—
 - (i) for an appeal against an enforcement notice given because of a belief mentioned in the *Plumbing and Drainage Act 2018*, section 143(2)(a)(i), (b) or (c)—5 business days after the day the notice is given; or
 - (ii) for an appeal against a decision of a local government or an inspector to give an action notice under the *Plumbing and Drainage Act 2018*—5 business days after the notice is given; or
 - (iii) for an appeal against a failure to make a decision about an application or other matter under the *Plumbing and Drainage Act 2018*—at anytime after the period within which the application or matter was required to be decided ends; or
 - (iv) otherwise—20 business days after the day the notice is given; or
- (g) for any other appeal—20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

Note—

See the P&E Court Act for the court's power to extend the appeal period.

- (4) Each respondent and co-respondent for an appeal may be heard in the appeal.

- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.
- (6) To remove any doubt, it is declared that an appeal against an infrastructure charges notice must not be about—
 - (a) the adopted charge itself; or
 - (b) for a decision about an offset or refund—
 - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
 - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

230 Notice of appeal

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that—
 - (a) is in the approved form; and
 - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar, must, within the service period, give a copy of the notice of appeal to—
 - (a) the respondent for the appeal; and
 - (b) each co-respondent for the appeal; and
 - (c) for an appeal about a development application under schedule 1, section 1, table 1, item 1—each principal submitter for the application whose submission has not been withdrawn; and
 - (d) for an appeal about a change application under schedule 1, section 1, table 1, item 2—each principal submitter for the application whose submission has not been withdrawn; and

- (e) each person who may elect to be a co-respondent for the appeal other than an eligible submitter for a development application or change application the subject of the appeal; and
 - (f) for an appeal to the P&E Court—the chief executive; and
 - (g) for an appeal to a tribunal under another Act—any other person who the registrar considers appropriate.
- (4) The *service period* is—
- (a) if a submitter or advice agency started the appeal in the P&E Court—2 business days after the appeal is started; or
 - (b) otherwise—10 business days after the appeal is started.
- (5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).
- (6) A person elects to be a co-respondent to an appeal by filing a notice of election in the approved form—
- (a) if a copy of the notice of appeal is given to the person—within 10 business days after the copy is given to the person; or
 - (b) otherwise—within 15 business days after the notice of appeal is lodged with the registrar of the tribunal or the P&E Court.
- (7) Despite any other Act or rules of court to the contrary, a copy of a notice of appeal may be given to the chief executive by emailing the copy to the chief executive at the email address stated on the department's website for this purpose.

231 Non-appealable decisions and matters

- (1) Subject to this chapter, section 316(2), schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.

- (2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the *Judicial Review Act 1991* in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.
- (4) In this section—
decision includes—
 - (a) conduct engaged in for the purpose of making a decision; and
 - (b) other conduct that relates to the making of a decision; and
 - (c) the making of a decision or the failure to make a decision; and
 - (d) a purported decision; and
 - (e) a deemed refusal.

non-appealable, for a decision or matter, means the decision or matter—

- (a) is final and conclusive; and
- (b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the *Judicial Review Act 1991* or otherwise, whether by the Supreme Court, another court, any tribunal or another entity; and
- (c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, any tribunal or another entity on any ground.

232 Rules of the P&E Court

- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal.
- (2) However, the P&E Court may hear and decide an appeal even if the person has not complied with rules of the P&E Court.