

Our Ref: LM: Imc:DA/4869 D25/37330

Your Ref: 376098

16 October 2025

Northern King Grapes Pty Ltd
c/- RPS Group AAP Consulting Pty Ltd
PO Box 1949
CAIRNS QLD 4870
E-mail: Patrick.clifton@rpsconsulting.com

Attention: Patrick Clifton

Dear Mr Clifton

Decision Notice (Minor Change) - Approval
Given under section 83 of the *Planning Act 2016*

The Change Application (Minor) for the development described below, was approved by the Chief Executive Officer as delegated on **16 October 2025**.

Details of the decision are as follows:

Application Details

Application Number:	DA/4869
Street Address:	Webb Road and 129 Webb Road, LAKE LAND 4871
Real Property Description:	Part of Lot 2 on RP901762 and Part of Lot 13 on RP742506, defined by Lease Areas L, M and N on Preliminary Survey Plan SP352328
Planning Scheme:	Cook Shire Council Planning Scheme 2017 v2.0

Decision Details

The original decision was dated 21 May 2025.

Council's Chief Executive Officer as delegated on 16 October 2025, decided to issue the following type of approval:

Approval Sought:	Change Application (Minor) – Development Permit for a Material Change of Use - Rural Industry and Workforce Accommodation
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Assessment Manager Conditions

This approval is subject to the conditions in **Attachment 1**.

Further Development Permits

Please be advised that the following development permits are required to be obtained before the development can be carried out:

1. Development Permit for Operational Work
2. Development Permit for Plumbing and Drainage Work
3. Development Permit for Building Work

Properly Made Submissions

Not applicable - no part of the change application required public notification.

Referral Agencies

Not applicable - no part of the change application required referral.

Reason for the Decision

The proposed changes are consistent with the original approval and introduce no new impacts

Other requirements under section 43 of the *Planning Regulation 2017*

Not applicable.

Approved Plans and Specifications

Copies of the approved plans, specifications and/or drawings are enclosed in **Attachment 2**.

Currency Period for the Approval

This development approval will lapse at the end of the period set out in section 85 of the *Planning Act 2016*.

Lapsing of approval if development started but not completed

In accordance with section 88(1) of the *Planning Act 2016*, a development approval, other than a variation approval, for development lapses to the extent the development is not completed within any period or periods required under a development condition.

Rights of Appeal

You are entitled to appeal against this decision. A copy of the relevant appeal provisions from the *Planning Act 2016* are provided in Attachment 4 of this Decision Notice.

Other Details

Council relies on the accuracy of information included in the application documentation when assessing and deciding applications.

If you find an inaccuracy in any of the information provided above, have a query, or need to seek clarification about any of these details, please contact Cook Shire Council's Planning and Environment Department on 07 4082 0500 or E-mail: mail@cook.qld.gov.au.

Yours sincerely



Lisa Miller
Manager Planning and Environment

enc:	Attachment 1	Conditions Imposed by the Assessment Manager
	Attachment 2	Approved Plans (D25/16558)
	Attachment 3	Notice of Decision – Statement of Reasons (D25/37329)
	Attachment 4	Extract of Appeal Provisions (Chapter 6 part 1 of the <i>Planning Act 2016</i>)

Attachment 1 Conditions Imposed by the Assessment Manager (Cook Shire Council)

A. Changed Assessment Manager (Council) Conditions

No.	Condition	Timing
GENERAL		
1.	COMPLIANCE WITH CONDITIONS The Developer is responsible for ensuring compliance with this development approval and the conditions of the approval by an employee, agent, contractor, or invitee of the Developer.	At all times.
2.	WORKS – APPLICANT’S EXPENSE The cost of all works associated with the development and construction of the development, including services, facilities and/or public utility alterations required are met at no cost to the Council or relevant utility provider, unless otherwise stated in a development condition.	At all times.
3.	WORKS - DAMAGE TO INFRASTRUCTURE The Developer must repair any damage to existing infrastructure that may have occurred during any works undertaken as part of the development. Any damage that is deemed to create a hazard to the community, must be repaired immediately.	At all times.
4.	WORKS _ DESIGN & STANDARD Unless otherwise stated, all works must be designed, constructed, and maintained in accordance with the relevant Council policies, guidelines, and standards.	At all times.
5.	WORKS – SPECIFICATION & CONSTRUCTION All engineering drawings/specifications, design and construction works must comply with the requirements of the relevant Australian Standards and must be approved, supervised, and certified by a Registered Professional Engineer of Queensland (RPEQ).	At all times.

APPROVED PLANS & DOCUMENTS

6.

APPROVED PLANS & DOCUMENTS

Undertake the approved development generally in accordance with the approved plans and documents, including any amendments made in red on the approved plan(s) or document(s):

Title	Sheet No.	Date	Prepared by
Site Plan	01	25/03/2025	Superior Homes
Detailed Site Plan	02	25/03/2025	Superior Homes
Sheeting Grids A & H	MP7	6/12/2024	Shed Fab
Sheeting Grid 1 & 15	MP6	6/12/2024	Shed Fab
Manager’s Accommodation – Floor Plan	A-100	Oct 2024	AusCo Moldular
Manager’s Accommodation – Elevations	A-200	Dec 2024	AusCo Moldular
2 Bed Accommodation – Floor Plan	A-100	Oct 2024	AusCo Moldular
2 Bed Accommodation – Elevations	A-200	Dec 2024	AusCo Moldular
Office – Coolroom Shed – Floor Plan	A-100	Oct 2024	AusCo Moldular
Office – Coolroom Shed – Elevations	A-200	Jan 2025	AusCo Moldular
Sticker Room – Coolroom Shed – Floor Plan	A-100	Nov 2024	AusCo Moldular
Sticker Room – Coolroom Shed – Elevations	A-200	Jan 2025	AusCo Moldular
Lunch Room – Coolroom Shed – Floor Plan	A-100	Nov 2024	AusCo Moldular
Lunch Room – Coolroom Shed –	A-200	Jan 2025	AusCo Moldular

At all times.

	Elevations				
	Manager's Office – Floor Plan	A-100	Nov 2024	AusCo Moldular	
	Manager's Office – Floor Plan	A-200	Jan 2025	AusCo Moldular	
	Manager's Office – Elevations	A-100	Nov 2025	AusCo Moldular	
	Manager's Accommodation	A-200	Jan 2025	AusCo Moldular	
	Manager's Accommodation - Elevations	A-100	Jan 2025	AusCo Moldular	
	Machinery Shed – Lunchroom – Floor Plan	A-100	Nov 2024	AusCo Moldular	
	Machinery Shed – Lunchroom – Elevations	A-200	Jan 2025	AusCo Moldular	
	2bed Accommodation – Floor Plan	A-100	Oct 2024	AusCo Moldular	
	2bed Accommodation - Elevations	A-200	Dec 2024	AusCo Moldular	
7.	CONDITIONS OF APPROVAL & APPROVED PLANS Where there is a conflict between the conditions of this approval and the details shown on the approved plans and documents, the conditions of approval take precedence.				At all times.

EXTERNAL ROAD		
8.	Upgrade Webb Road in accordance with Section D1 of the FNQROC Development Manual from the Mulligan Highway intersection to the proposed "Property Access Point 2" as nominated on Superior Steel Homes Sheet No. 01 (Site Plan, Issue A, Construction Issue) dated 25 March 2025. The upgrade of Webb Road will require an application for Operational Works to be prepared and submitted to Council.	Prior to the Commencement of Use
9-8.	The Operational Works application to upgrade Webb Road must be upgraded from the intersection of the Mulligan Highway to Property Access Point 2 to a gravel standard in accordance with an application for Operational Works and plans must include engineering plans prepared by a Registered Professional Engineer of Queensland (RPEQ), and be generally in accordance with the requirements of Table D1.4 Rural Road Elements of the FNQROC	Prior to the issue of a Development Permit for Operational Works

	<p>Development Manual based on a traffic volume of 100-999 50-100 vehicles per day. The design must ensure that all relevant Road Safety aspects for the Webb Road corridor are considered.</p> <p>The design for Webb Road must include but is not limited to:</p> <ul style="list-style-type: none"> • 8m wide formation; • 8m wide pavement width; • 6.5m wide seal width; • 0.75m gravel shoulders; • Provision for curve widening (this may include the use of Austroads turning templates in accordance with the relevant guidelines); and • Appropriate drainage infrastructure to outlet run-off generally in accordance with the requirements of the Queensland Urban Drainage Manual. <p>Detailed design drawings for the upgrade of Webb Road and proposed access crossover locations are to be provided to Council for endorsement.</p> <p>Once approved, all works must be carried out in accordance with the approved plan(s) to the requirements and satisfaction of Council and generally in accordance with the FNQROC Development Manual, including the works acceptance process, prior to the Commencement of Use</p>	
10	<p>The Registered Professional Engineer of Queensland (RPEQ), certifying the engineering design drawings for the Webb Road upgrade must ensure that all relevant Road Safety aspects for the Webb Road corridor are considered. The RPEQ must certify that traffic on Webb Road and using the Webb Road / Mulligan Highway intersection once the Northern King Grapes development site is fully operational is safe.</p> <p>Any upgrade recommendations by the RPEQ to address Road Safety will require a Development Permit for Operational Works and will need to be implemented prior to the Commencement of Use.</p>	<p>Prior to the Commencement of Use</p>

INTERNAL ROAD		
11.9.	<p>The internal road network must be constructed and maintained to provide for road and pedestrian movements that are safe and do not affect the amenity of residents for the extent of road adjacent to the proposed onsite accommodation units, as illustrated on Superior Steel Homes Sheet No. 01 (Site Plan, Issue A, Construction Issue) dated 25 March 2025.</p>	<p>Prior to Commencement of Use.</p>

ACCESS		
12. 10.	<p>Access to the development must be limited to the two (2) access points as shown on the Approved Plan by Superior Steel Homes Sheet No. 01 (Site Plan, Issue A, Construction Issue) dated 25 March 2025.</p> <p>No additional accesses are permitted.</p>	At all times
13. 11.	The access crossover nominated as “Property Access Point 1” on the Approved Plans must be constructed in accordance with FNQROC Development Manual Standard Drawing S1105 to a Rural standard.	Prior to Commencement of Use.
14. 12.	<p>The access crossover nominated as “Property Access Point 2” on the Approved Plans must be constructed generally in accordance with FNQROC Development Manual Standard Drawing S1105. The width of the access crossover must be of sufficient width for the turn paths for a B-Double design vehicle and must accommodate passing a Light Vehicle entering/exiting the development site at the same time.</p> <p>Vehicle turn path plans must be prepared for the turn path manoeuvres for this scenario in accordance with the Austroads Design Vehicles and Turn Path Templates, and relevant standards.</p> <p>Detailed design plans must be provided for Council endorsement prior to the issue of a Development Permit for Operational Works (as required by Condition 9 8 of this Decision Notice). Once approved, all works must be carried out in accordance with the approved plan(s) to the requirements and satisfaction of Council.</p>	Prior to Commencement of Use.

STORMWATER		
15. 13.	<p><u>Stormwater External</u></p> <p>Provide updated plans prepared by a suitably qualified and experienced Stormwater Engineer (RPEQ) for all stormwater infrastructure required to support the upgrade of Webb Road external to the development site (as required by Condition 9 8 of this Decision Notice). The detailed design plans must be prepared generally in accordance with Section D4 of the FNQROC Development Manual and are to be provided to Council for endorsement. Once approved, all works must be carried out in accordance with the approved plan(s) to the requirements and satisfaction of Council prior to the Commencement of Use.</p>	Prior to the issue of a Development Permit for Operational Works.

16. 14.	<u>Stormwater Internal</u> Provide updated plans demonstrating that the land is provided with internal and external drainage to an appropriate standard to minimise runoff and impacts on receiving waters.	Prior to the issue of a Development Permit for Building Works.
17. 15.	Any site works must not adversely affect flooding or drainage characterises of properties that are upstream, downstream, or adjacent to the development site.	At all times.
18. 16.	Existing watercourse systems and drainage areas within the subject site are to be maintained in their current operational state, including no channel alterations and no removal of vegetation, unless otherwise approved.	At all times.

ELECTRICITY SUPPLY AND TELECOMMUNICATIONS

19. 17.	Any padmount transformer must be installed on site and positioned in accordance with the following requirements: A. not located on land used for open space; B. accessible for maintenance in accordance with the relevant utility provider; and C. must not be located over existing infrastructure.	Prior to Commencement of Use.
20. 18.	Provide the development site with reliable telecommunications at the time of construction of building works. Details of the telecommunication services must be provided for Council approval at the time of application for building works.	At the time of construction of building works.

ON-SITE WATER SUPPLY

21. 19.	<p>An adequate source of water supply must be provided to service the development at the time of construction of building works, including all accommodation units, machinery shed, cold storage warehouse, and ancillary buildings.</p> <p>Any application for the provision for rainwater tank(s) must include details of the proposed water supply systems and calculations demonstrating sufficient on-site water storage can be provided. Details are to be provided at the time of lodgement of a plumbing and building application.</p> <p>Where an alternative source of supply is available within the allotment, the applicant can provide certified evidence as to the flow rates and water quality of the bore water or other supply to eliminate or reduce the requirement of on-site water storage.</p> <p>Any application for water supply must demonstrate compliance</p>	At the time of construction of building works.
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	with the Building Code of Australia and be supported by certification of compliance prior to the Commencement of Use.	
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ON-SITE SEWERAGE SUPPLY		
	An on-site wastewater system must be provided for the proposed development at the time of construction of the building works, generally in accordance with the provided ERA Application Northern King Grapes, Lakeland V1 dated 10 October 2025.	
22.20.	On-site wastewater systems must be provided in accordance with the State Assessment and Referral Agency Decision Notice. Any application for wastewater treatment and disposal must include details of the proposed wastewater disposal systems and calculation and demonstrating compliance with the Queensland Plumbing and Wastewater Code and AS/NZS 1547:2000 – ‘On-site domestic wastewater management’. Details are to be provided at the time of lodgement of a plumbing and building application.	At the time of construction of building works.

PRIOR APPROVAL		
23.21.	Comply with the conditions of Development Permit for Reconfiguring a Lot DA/4754 dated 2 July 2024.	Prior to the Commencement of Use.

PARKING		
24.22.	Sufficient car-parking spaces are to be constructed on site. Suitable dust suppression is to be provided for the car parking spaces and any internal driveways and access.	At all times.

WASTE MANAGEMENT		
25.23.	The site must be serviced by a waste contractor with all waste collected from site and disposed of at a licensed waste disposal/transfer facility.	At all times.

LAWFUL COMMENCEMENT		
26.24.	Request a Compliance Inspection be undertaken by Council to confirm that all conditions of this Development Permit are considered compliant.	Prior to the Commencement of Use.

27-25.	Notify Council within 20 business days that this approved use has lawfully commenced.	As stated.
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B. Assessment Manager (Council) Advice

1. A development permit is required for carrying out Building Works, and a Plumbing and Drainage Approval/compliance permit is required for Plumbing and Drainage Works prior to construction of any buildings associated with this development.
2. Water Quality (Dam)
The requirements for the management of both short term and long term water quality impacts to the existing Horseshoe Dam must be met generally in accordance with Section D5 of the FNQROC Development Manual and relevant standards.
3. The currency period for this application is six (6) years. Should the approved use not commence within this time, the approval shall lapse.
4. The applicant/owner must notify Council their intention to commence the use after acceptable of and compliance with these conditions or negotiated conditions (or court determined conditions) and prior to the commencement of the use. This will allow a check for compliance with conditions to be carried out by Council officers.
5. The applicant/owner is to ensure compliance with the requirements of the *Aboriginal Cultural Heritage Act* and in particular 'the duty of care' that it imposes on all landowners.
6. The applicant is advised that electrical works proposed as part of the Negotiated Connection Establishment Contract (NCEC) with Ergon Energy may impact the Webb Road corridor. The applicant should confirm the final alignment of all electrical infrastructure with Council to ensure that it does not conflict with or compromise the design, operation or safety of the required Webb Road upgrade.
7. The applicant is encouraged to develop and implement a Site Based Management Plan for the ongoing operation and maintenance of the workforce accommodation. The Site Based Management Plan should include procedures and measures for the management of human safety, including internal pedestrian and vehicle movements, and emergency response procedures. The Site Based Management Plan should be in place prior to the commencement of use and maintained throughout the life of the development.

Attachment 2 **Approved Plans (D25/16558)**

COOK SHIRE COUNCIL

DIGITALLY STAMPED

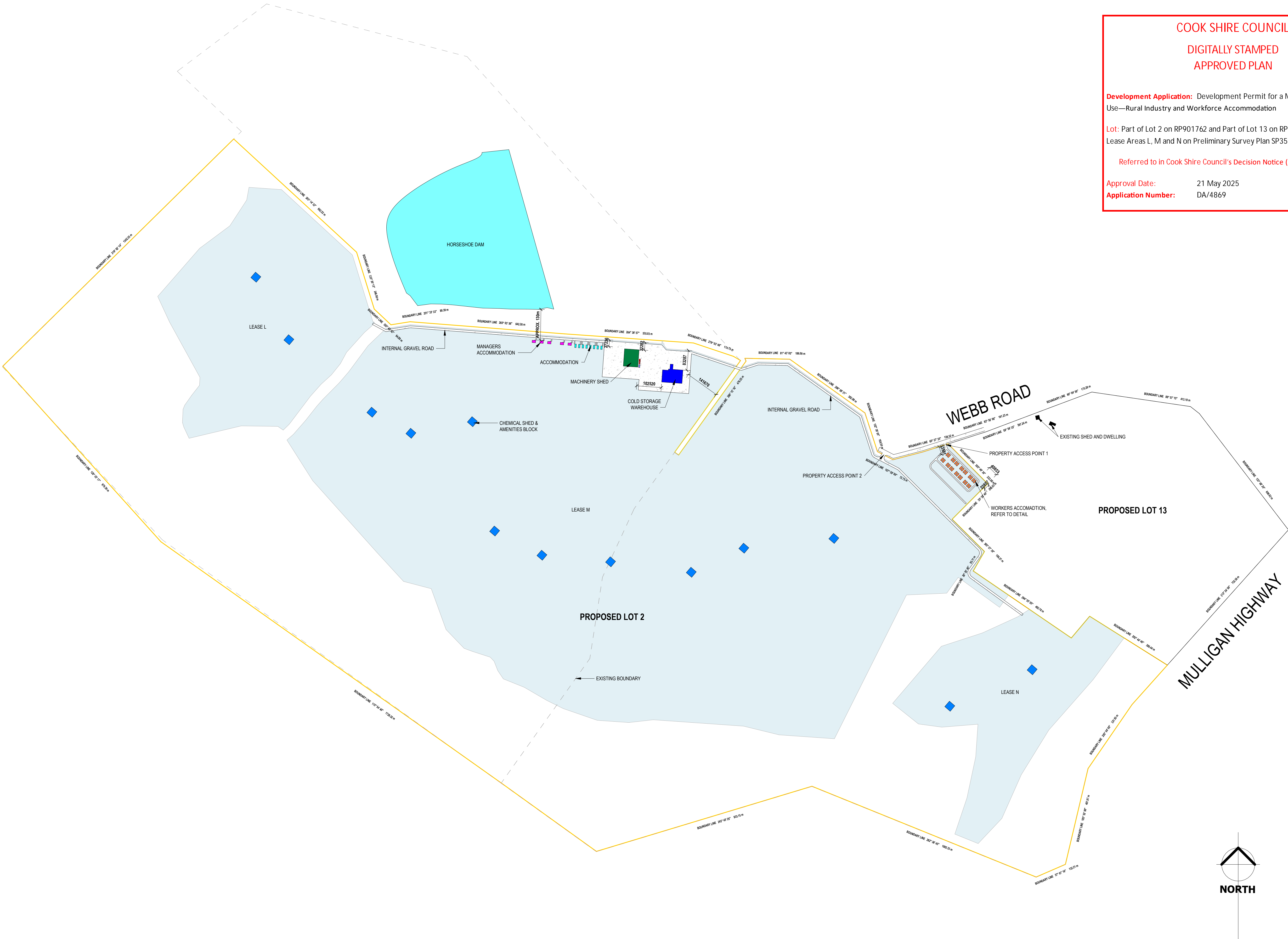
APPROVED PLAN

Development Application: Development Permit for a Material Change of Use—Rural Industry and Workforce Accommodation

Lot: Part of Lot 2 on RP901762 and Part of Lot 13 on RP742506, defined by Lease Areas L, M and N on Preliminary Survey Plan SP352328

Referred to in Cook Shire Council's Decision Notice (AD2025/0002941)

Approval Date: 21 May 2025
Application Number: DA/4869



DESIGN WIND SPEED:	C	SOIL CLASSIFICATION:	TBA
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VARIATIONS INCLUDED IN THIS DRAWING			
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	1:7500 AT A1	DRAWN BY:	WE
CONSTRUCTION ISSUE			
SPRING JOB NO:		DRAWING NO:	
PROJECT			
PROPOSED RESIDENCE			
Lot 2 on SP350380			
WEBB ROAD			
LAKELAND			
CLIENT			
NORTHERN KING GRAPES			
superiorsteel homes			
PO BOX 876			
ATHERTON QLD 4883			
33-35 ALBRECHT ST			
TOLGA INDUSTRIAL ESTATE, QLD, 4882			
PH: 07 4095 4008			
FAX: 07 4095 4417			
EMAIL: info@shing.com.au			
WEB: www.superiorsteelhomesng.com.au			
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NOTE: (1). VERIFY ALL DIMENSIONS AND LEVELS BEFORE COMMENCING ANY WORK. (2). VERIFY ALL ON SITE DIMENSIONS BEFORE COMMENCING ANY FABRICATION. (3). FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS. (4). ALL WORK TO COMPLY WITH LOCAL AUTHORITY REQUIREMENTS, THE STANDARD BUILDING BY-LAWS, THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS. (5). SUBSTITUTION OF ANY STRUCTURAL MEMBERS, & OR VARIATIONS TO ANY PART OF THE DESIGN, WILL VOID ANY RESPONSIBILITIES OF THE BUILDING DESIGNER FOR THE STRUCTURAL INTEGRITY & PERFORMANCE OF THE BUILDING



1 SITE PLAN CAMP
SCALE - 1 : 1000

COOK SHIRE COUNCIL

DIGITALLY STAMPED

APPROVED PLAN

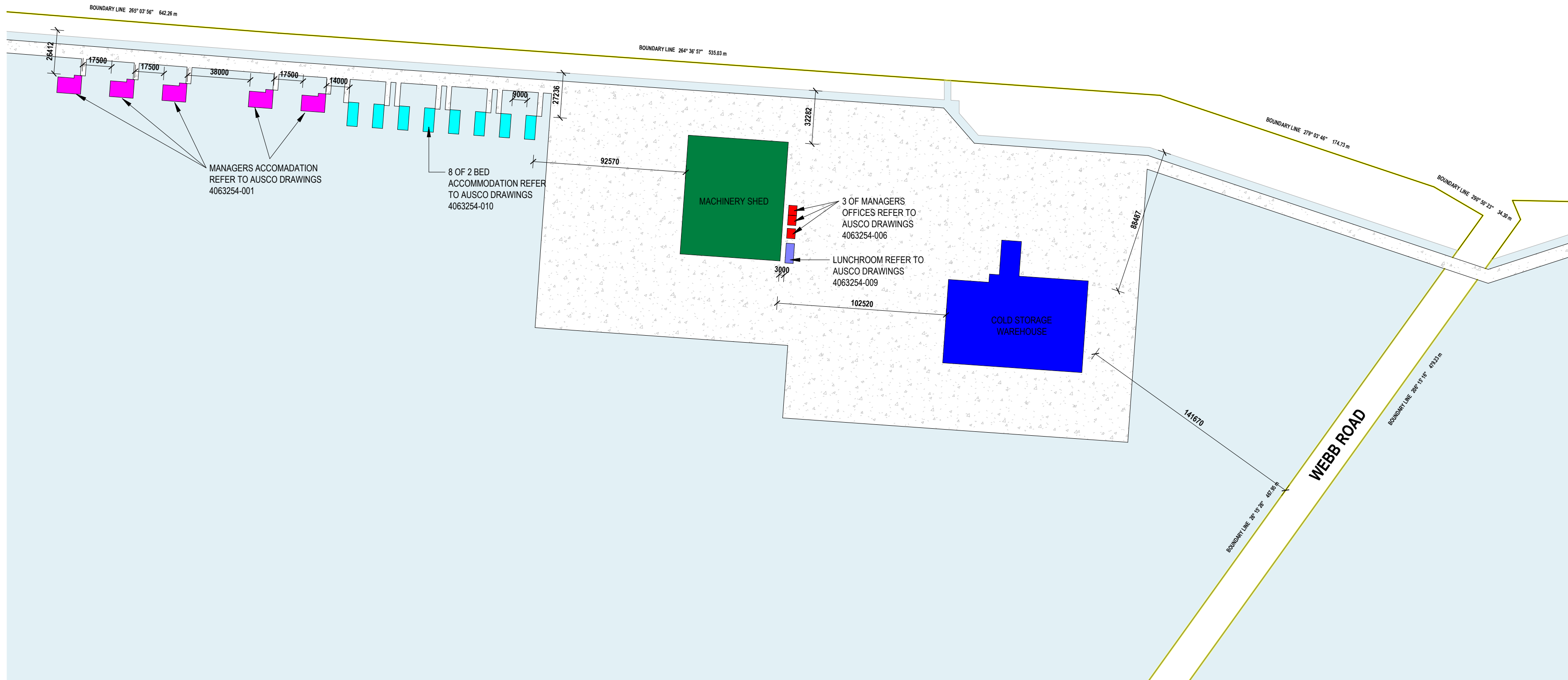
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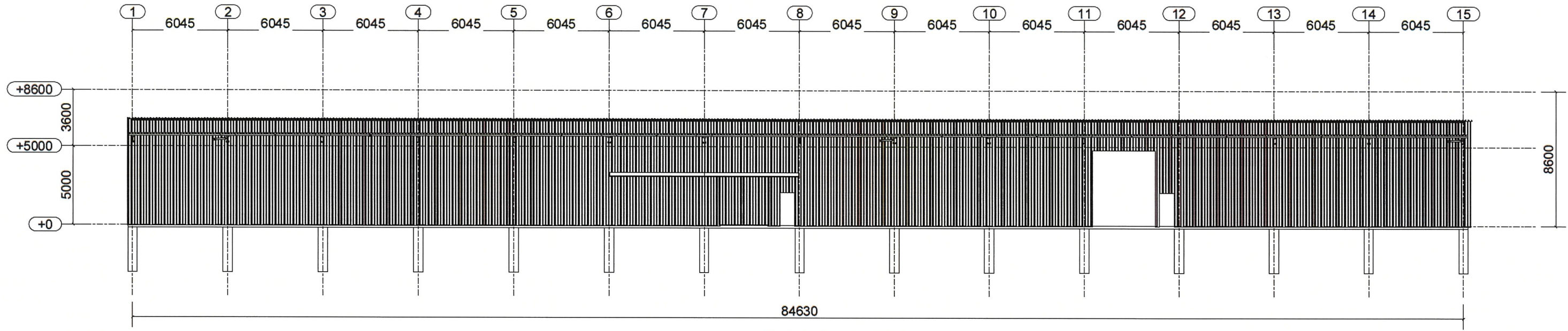
Application Number: DA/4869



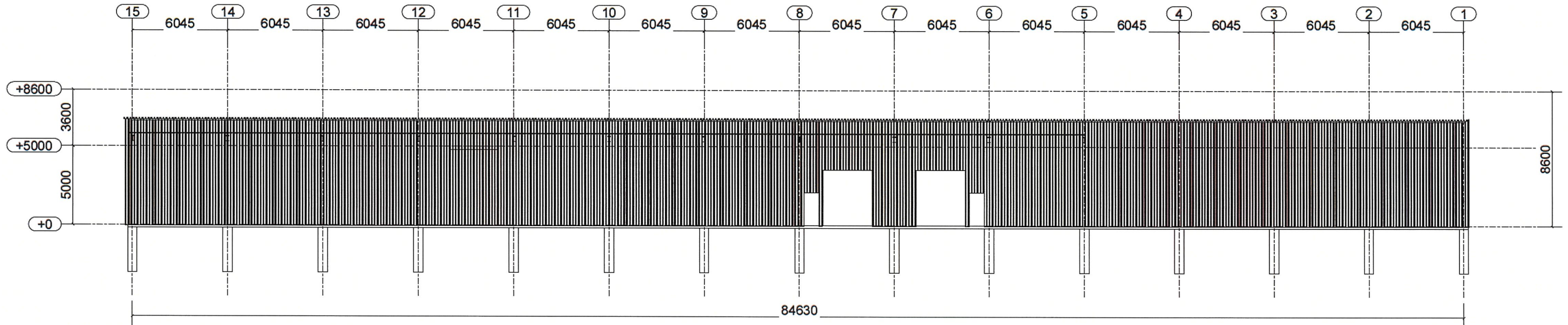
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AS NOTED AT A1		DRAWN BY:	WE
CONSTRUCTION ISSUE			
SPRING JOB NO:		DRAWING NO:	
PROJECT			
PROPOSED RESIDENCE			
Lot 2 on SP350380			
WEBB ROAD			
LAKELAND			
CLIENT			
NORTHERN KING GRAPES			
PO BOX 876			
ATHERTON QLD 4883			
33-35 ALBRECHT ST			
TOLGA INDUSTRIAL ESTATE, QLD, 4882			
PH: 07 4095 4008			
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EMAIL: info@shing.com.au			
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Grid A 1:125



Grid H - OS 1:125

COOK SHIRE COUNCIL

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Approval Date: 21 May 2025

Application Number: DA/4869

Notes:

Rev	By	Date	Description
A	CH	06/12/2024	ISSUED FOR INFORMATION

Coldroom Shed
Webb road Lakeland Downs
Lot 2 RP901762



Sheeting Grids A & H

Drawn By: CH

Checked By:

Approved By:

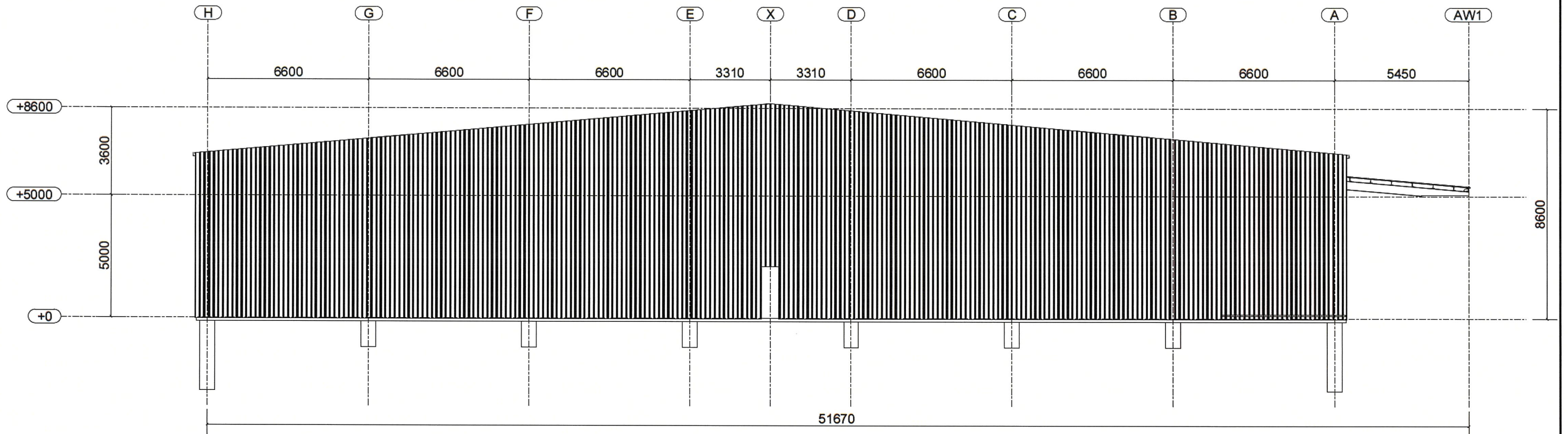
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Project No:
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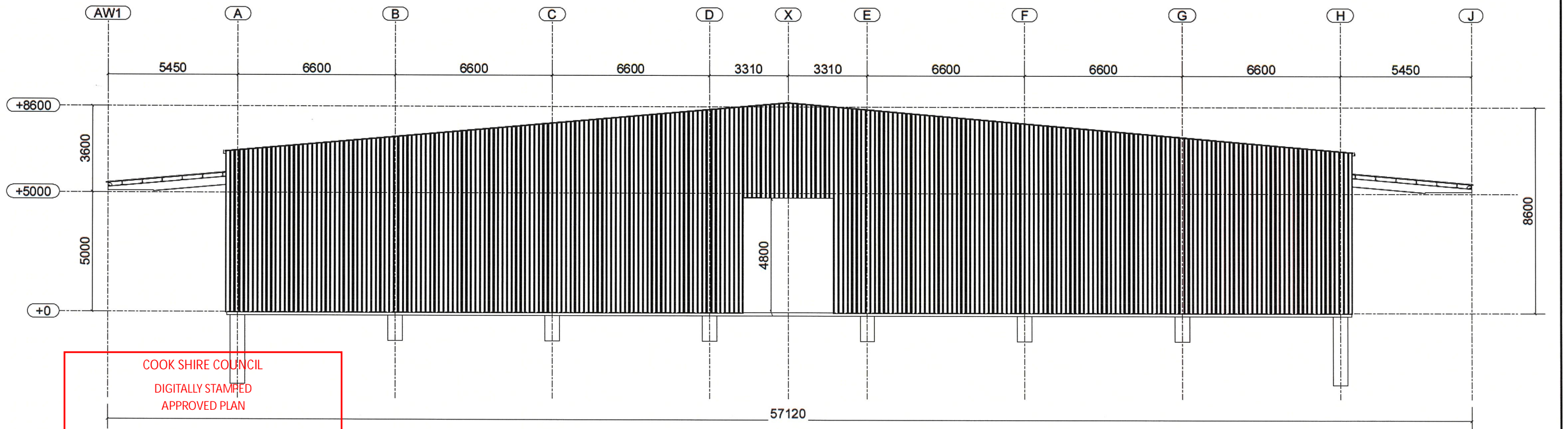
Drawing No:
MP7

Size:
A1

Rev
A



Grid 1 - OS 1:80



Grid 15 1:80

COOK SHIRE COUNCIL
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APPROVED PLAN

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Notes:

Rev	By	Date	Description
A	CH	06/12/2024	ISSUED FOR INFORMATION

Coldroom Shed
Webb road Lakeland Downs
Lot 2 RP901762

Sheeting Grid 1 & 15

Scale:
1:80

Project No:
2500002

Drawing No:
MP6

Drawn By: CH
Checked By:
Approved By:

SHED FAB

Size: A1
Rev: A

Original Drawing Size A1

DRAWINGS - ARCHITECTURAL		
Sheet	Content	Rev
A-000	SCHEDULES	G
A-100	FLOOR PLAN	G
A-200	ELEVATIONS	G

- GENERAL NOTES & DISCLAIMERS**
- WALL/CILING/ROOF FRAMES MANUFACTURED IN ACCORDANCE WITH THE APPROVED FRAMING SHOP DRAWINGS AND ASSEMBLED IN ACCORDANCE WITH THE STRUCTURAL ENGINEERS REQUIREMENTS
 - STANDARD BUILDING CHASSIS DESIGNED TO AUSCO STANDARD CHASSIS DRAWINGS.
 - ALL WORK MUST BE DONE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN/NEW ZEALAND STANDARD(S) AND THE NATIONAL CONSTRUCTION CODE.
 - NOMINATED WIND REGION FOR STANDARD DESIGN IS CLIENT REGION 6. REFER TO CLIENT QUOTE FOR DEVIATIONS.
 - NOMINATED ENERGY EFFICIENCY COMPLIANCE IS NCC2022 SECTION J. REFER TO CLIENT QUOTE FOR DEVIATIONS.
 - FURNITURE, PLUMBING, & ELECTRICAL REPRESENTATIONS ARE INDICATIVE. APPEARANCE MAY VARY DEPENDING ON SUPPLIER.
 - LOOSE ITEMS TO BE PACKED FOR TRANSPORT.

PROJECT INFORMATION	
BUILDING CLASSIFICATION:	1b
RISE IN STOREYS:	(1) ONE
TYPE OF CONSTRUCTION:	TYPE C CONSTRUCTION
CLIMATE ZONE:	ZONE 1
ENERGY EFFICIENCY REPORT REQ:	YES
CYCLONIC REGION CLASSIFICATION:	REGION C
BAL LEVEL:	NOT APPLICABLE
ALPINE & SUB ALPINE REGIONS (AS1170.3 CLAUSE 2.2)	NOT APPLICABLE

Complexing Materials

- Interior Floor Join
- 'T' Section Alum. (to match Vinyl)
- Interior Ceiling Join
- 'H' Mould
- Interior Wall Join
- 'H' Mould
- Exterior Wall Join
- Lapped CCS Mesa (Shale Grey)
- Roof Join - Lap
- Superdek (Surfmist)

Transit Plastic Required? **YES**

CLIENT APPROVAL	
CLIENT:	Northern King Grapes - Lakelands
APPROVED BY:	
COMPANY:	
DATE (DD-MM-YYYY):	
SIGNATURE:	

COOK SHIRE COUNCIL
DIGITALLY STAMPED
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AMENDMENT ISSUE			
NO.	DESCRIPTION	DATE	BY
G	Revised External Tap; Added Kitchen Rainwater Tap; Moved Clothes Line; Added Toaster/Kettle/Microwave to Kitchen; BBQ End Slat Lengthened; All Slat Lengthened;	17/01/2024	KW
F	Added Schedules & Elevations Sheet; Added Tagging; Updated Client Name;	13/12/2024	KW
E	Added HWS & Annotation	28/11/2024	KW
D	Updated Title Block Project Name	26/11/2024	KW
C	Added View Panel; Revised Slat	22/11/2024	KW
B	Revised per Markup/Email	05/11/2024	KW
A	Concept drawing	OCT 2024	PR



PRELIMINARY

NOT FOR CONSTRUCTION PURPOSES UNLESS STAMPED FOR CONSTRUCTION. VERIFY DIMENSIONS AND LEVELS ON SITE BEFORE SETTING OUT. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE. REFER TO FIGURED DIMENSIONS IN MM UNLESS STATED. OTHERWISE, DOCUMENTATION TO BE READ IN CONJUNCTION WITH CONSULTANT DRAWINGS, SPECIFICATIONS & OTHER DRAWINGS. COPYRIGHT OF THIS DRAWING IS VESTED WITH AUSCO & MAY NOT BE USED OR COPIED WITHOUT EXPRESS PERMISSION.

CLIENT:
Northern King Grapes - Lakelands

PROJECT:
14.4 x 11.3 x 2.4h (5 Off) Manager's Accommodation

ADDRESS:
Lakelands, Far Nth QLD

DRAWING TITLE:
FLOOR PLAN

PROJECT TYPE	DESIGN LOADING	BUILD FACILITY
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SCALE @ A2	1:50	CHECKED
DRAWN	PR/KW	ST
ESTIMATE NO.	4063254-001	

PRODUCTION NO.
P4063254-L01

JOB NO.

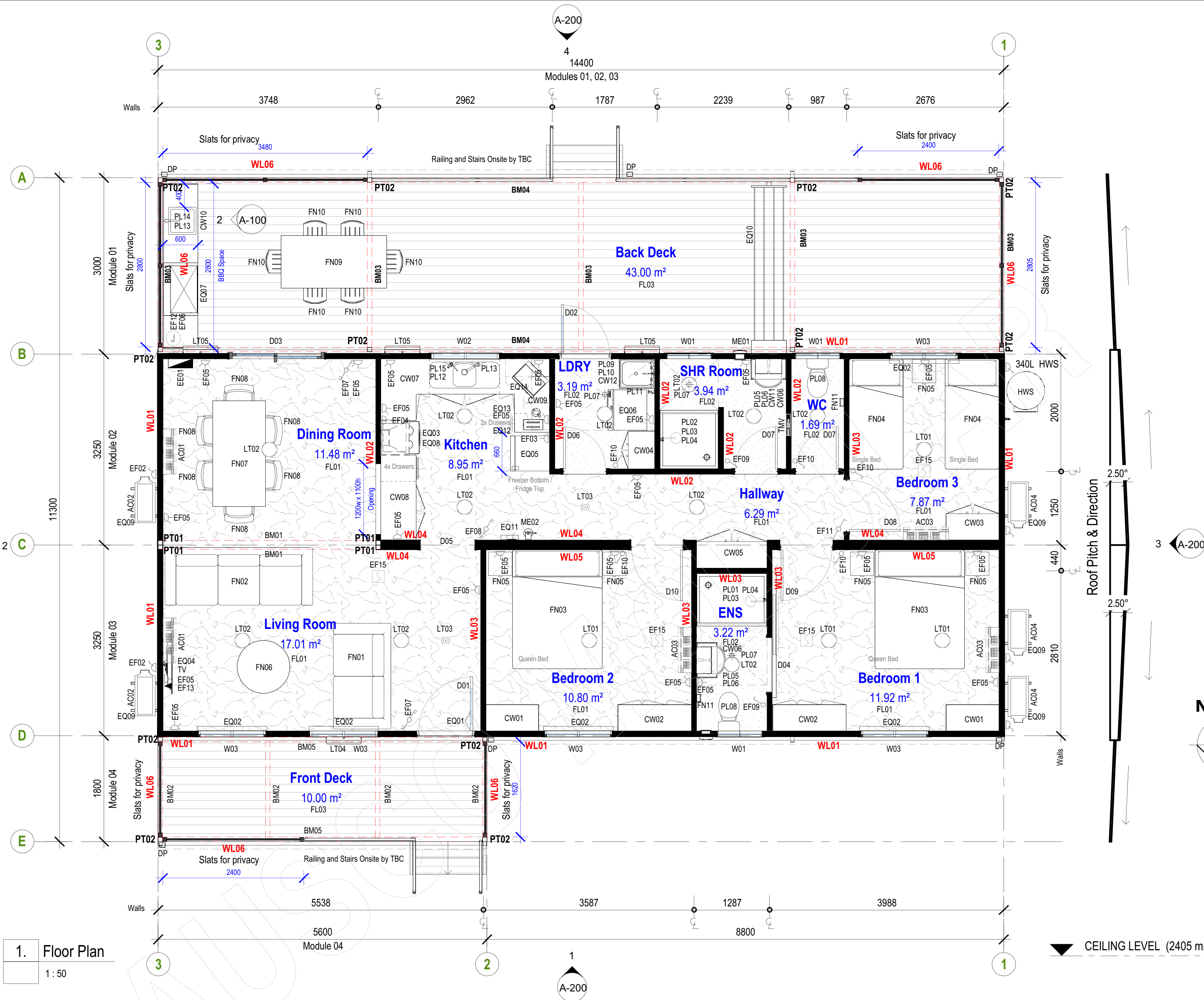
SB

DRAWN DATE. DRAWING NO. ISSUE

OCT 2024 A-100 G

A2

Design Office : Adelaide



1. Floor Plan
1 : 50

ENGINEERING DATA		Module 01	
CONCENTRATED FLOOR LOAD:		3kN	
DISTRIBUTED FLOOR LOAD:		5kPa	
LIFTING CAPACITY:		6.75t	
X - X	→	Y - Y	↓
REQ'D	0.00 kN	REQ'D	0.00 kN
ACH'D	0.00 kN	ACH'D	0.00 kN

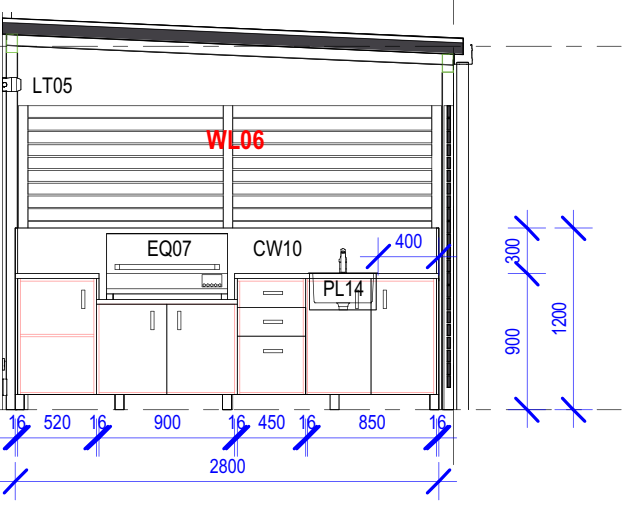
ENGINEERING DATA		Modules 02 & 03	
CONCENTRATED FLOOR LOAD:		2.7kN	
DISTRIBUTED FLOOR LOAD:		3kPa	
LIFTING CAPACITY:		6.75t	
X - X	→	Y - Y	↓
REQ'D	0.00 kN	REQ'D	0.00 kN
ACH'D	0.00 kN	ACH'D	0.00 kN

ENGINEERING DATA		Module 04	
CONCENTRATED FLOOR LOAD:		3kN	
DISTRIBUTED FLOOR LOAD:		5kPa	
LIFTING CAPACITY:		6.75t	
X - X	→	Y - Y	↓
REQ'D	0.00 kN	REQ'D	0.00 kN
ACH'D	0.00 kN	ACH'D	0.00 kN

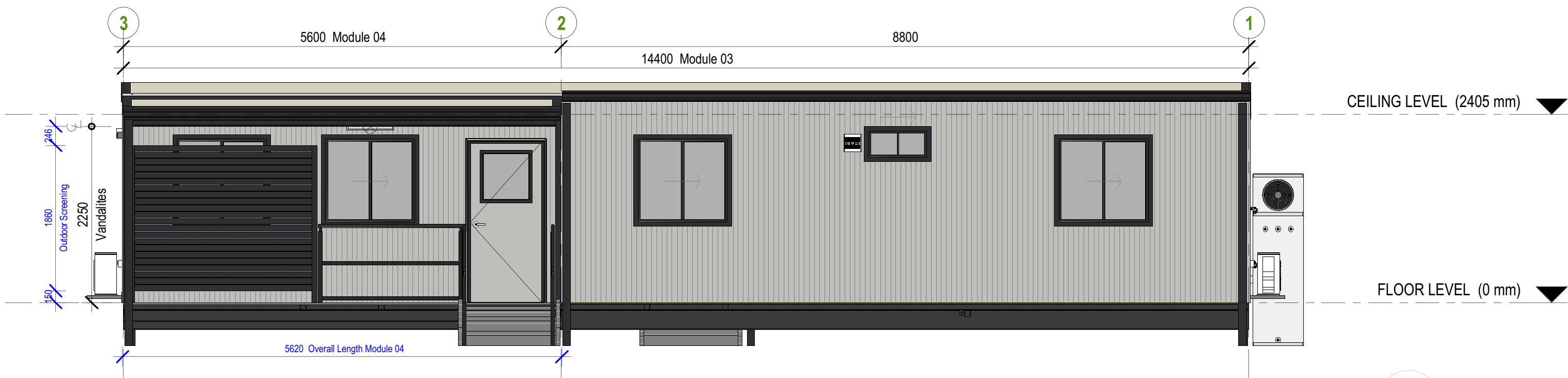
CEILING LEVEL (2405 mm)

FLOOR LEVEL (0 mm)

2. Back Deck BBQ Area
1 : 50

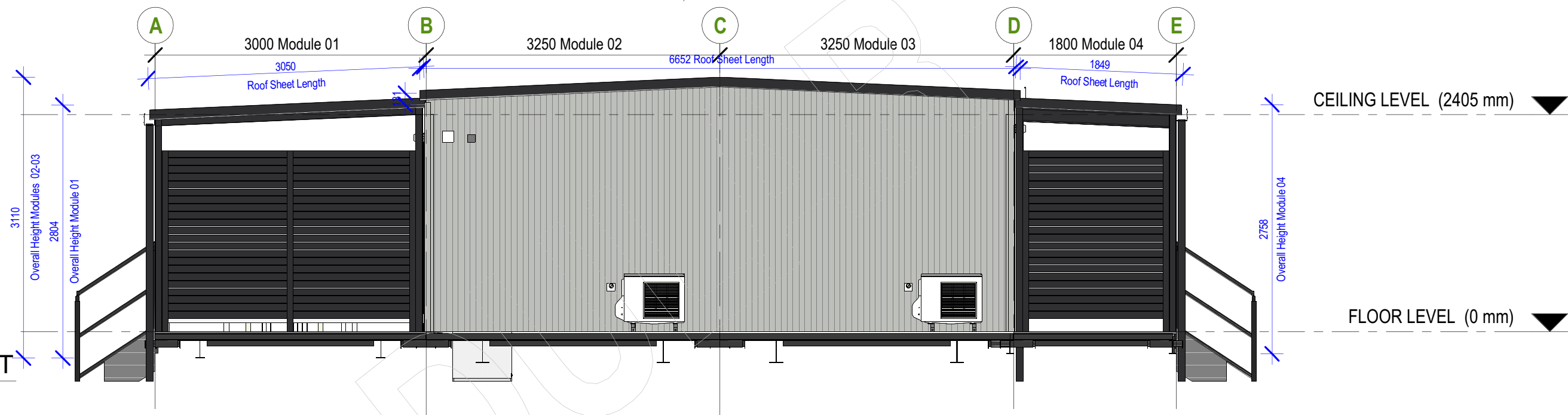


NORTH



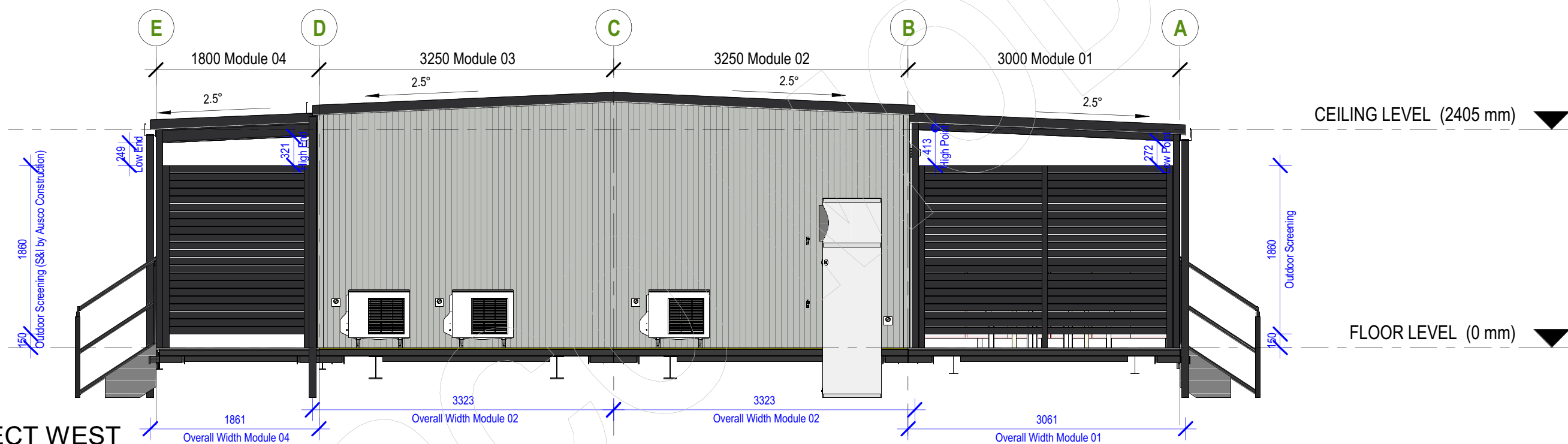
1. PROJECT NTH

A-100 1 : 50



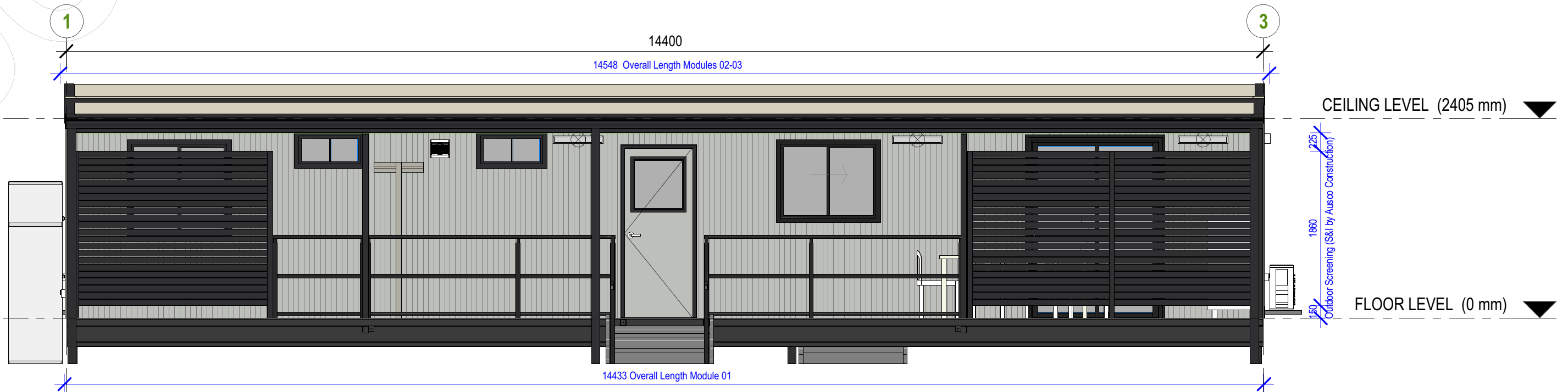
2. PROJECT EAST

A-100 1 : 50



3. PROJECT WEST

A-100 1 : 50



4. PROJECT STH

A-100 1 : 50

DRAWINGS - ARCHITECTURAL		
Sheet	Content	Rev
A-000	SCHEDULES	G
A-100	FLOOR PLAN	G
A-200	ELEVATIONS	G

COOK SHIRE COUNCIL
DIGITALLY STAMPED
APPROVED PLAN

Development Application: Development Permit for a Material Change of Use—Rural Industry and Workforce Accommodation

Lot: Part of Lot 2 on RP901762 and Part of Lot 13 on RP742506, defined by Lease Areas L, M and N on Preliminary Survey Plan SP352328

Referred to in Cook Shire Council's Decision Notice (AD2025/0002941)

Approval Date: 21 May 2025
Application Number: DA/4869

GENERAL NOTES & DISCLAIMERS

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- LOOSE ITEMS TO BE PACKED FOR TRANSPORT.

CLIENT APPROVAL

CLIENT: Northern King Grapes - Lakelands

APPROVED BY:

COMPANY:

DATE (DD-MM-YYYY):

SIGNATURE:

G	Revised External Tap; Added Kitchen Rainwater Tap; Moved Clothes Line; Added Toaster/Kettle/Microwave to Kitchen; BBQ End Sails Lengthened; All Sails Lengthened;	17/01/2024	KW
F	Added Schedules & Elevations Sheet; Added Tagging; Updated Client Name;	13/12/2024	KW
E	Added HWS & Annotation	28/11/2024	KW
D	Updated Title Block Project Name	26/11/2024	KW
C	Added View Panel; Revised Sails	22/11/2024	KW
B	Revised per Markup/Email	05/11/2024	KW
A	Concept drawing	OCT 2024	PR
NO:	DESCRIPTION	DATE	BY

AMENDMENT ISSUE



PRELIMINARY

NOT FOR CONSTRUCTION PURPOSES UNLESS STAMPED FOR CONSTRUCTION. VERIFY DIMENSIONS AND LEVELS ON SITE BEFORE SETTING OUT. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE. REFER TO FIGURED DIMENSIONS IN MM UNLESS STATED OTHERWISE. DOCUMENTATION TO BE READ IN CONJUNCTION WITH CONSULTANT DRAWINGS. SPECIFICATIONS & OTHER DRAWINGS. COPYRIGHT OF THIS DRAWING IS VESTED WITH AUSCO & MAY NOT BE USED OR COPIED WITHOUT EXPRESS PERMISSION.

CLIENT:
Northern King Grapes - Lakelands

PROJECT:
14.4 x 11.3 x 2.4h (5 Off) Manager's Accommodation

ADDRESS:
Lakelands, Far Nth QLD

DRAWING TITLE:
ELEVATIONS

PROJECT TYPE	DESIGN LOADING	BUILD FACILITY
SALE	C235	MSA
SCALE @ A2	DRAWN: KW	CHECKED: ST
1 : 50		
ESTIMATE NO.	4063254-001	
PRODUCTION NO.	P4063254-L01	
JOB NO.	SB	
DRAWN DATE:	DRAWING NO.	ISSUE
DEC 2024	A-200	G
A2		

Design Office : Adelaide

GENERAL NOTES & DISCLAIMERS

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- NOMINATED ENERGY EFFICIENCY COMPLIANCE IS NC02/022 SECTION J. REFER TO CLIENT QUOTE FOR DEVIATIONS.
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CLIENT APPROVAL
CLIENT: Northern King Grapes - Lakelands
APPROVED BY:
COMPANY:
DATE (DD-MM-YYYY):
SIGNATURE:

COOK SHIRE COUNCIL

DIGITALLY STAMPED

APPROVED PLAN

Development Application: Development Permit for a Material Change of Use—Rural Industry and Workforce Accommodation

Lot: Part of Lot 2 on RP901762 and Part of Lot 13 on RP742506, defined by Lease Areas L, M and N on Preliminary Survey Plan SP352328

Referred to in Cook Shire Council's **Decision Notice (AD2025/0002941)**

Approval Date: 21 May 2025

Application Number: DA/4869

K	Extend Sink Plumber; Tap Hank Racine; Clothes Line Moved to over Washing Machine; Outdoor Seating Reduced 1200L; Added Outdoor Padded Bench Seat, Adjusted Outdoor Screening, Added Broom Closet;	20/01/2025	KW
J	Revised External Wall; Removed Internal Wall; Adjusted & Shifted Lockers; Added Clothesline; Added Ceiling; Adjusted Tap; Added Mixer Tap to Kitchen; Revised Deck Roof Posts & Beams;	13/01/2025	KW
H	Added Stairs & Elevators Sheet; Added Tagging; Updated Client Name;	17/12/2024	KW
G	Added Annotation for HWS; Added Bathroom & HWL Layout;	28/11/2024	KW
F	Updated Client Project Name	28/11/2024	KW
E	Revised Outdoor Cooking Area & Tap; Added Window; Updated Outdoor Lighting;	22/11/2024	KW
D	Revised as per Markup - Kitchen, Outdoor Area, Screening;	19/11/2024	KW

AMENDMENT ISSUE

NOT FOR CONSTRUCTION PURPOSES UNLESS STAMPED FOR
CONSTRUCTION. VERIFY DIMENSIONS AND LEVELS ON SITE
BEFORE SETTING OUT. USE WRITTEN DIMENSIONS ONLY.
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UNLESS STATED OTHERWISE. DOCUMENTATION TO BE READ
IN CONJUNCTION WITH CONSULTANT DRAWINGS,
SPECIFICATIONS & OTHER DRAWINGS. COPYRIGHT OF THIS
DRAWING IS VESTED WITH AUSCO & MAY NOT BE USED OR
COPIED WITH OUT EXPRESS PERMISSION.

CLIENT:
Northern King Grapes - Lakelands

PROJECT:
14.4x6.3x2.4h (14 Off) 2Bed
Accommodation-Main Camp A
ADDRESS:
Lakelands, QLD

DRAWING TITLE:
FLOOR PLAN

PROJECT TYPE	DESIGN LOADING	BUILD FACILITY
SALE	C235	MSA
SCALE @ A2	DRAWN:	CHECKED:
1 : 50	PR/KW	ST

ESTIMATE NO. **4063254-002**

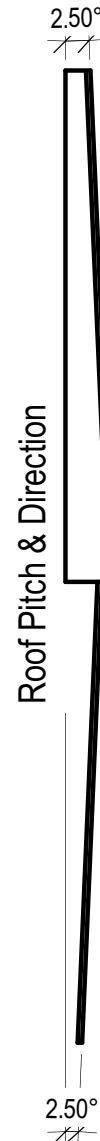
PRODUCTION NO. **P4063254-L02**

SB

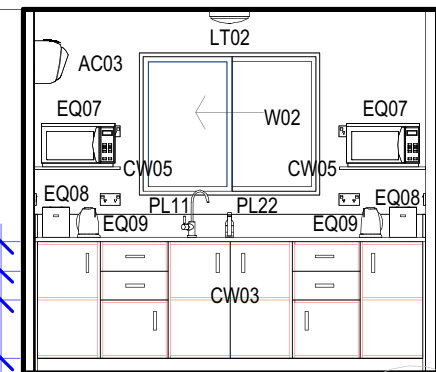
DRAWN DATE	DRAWING NO.	ISSUE
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OCT 2024	A-100	K
A2		

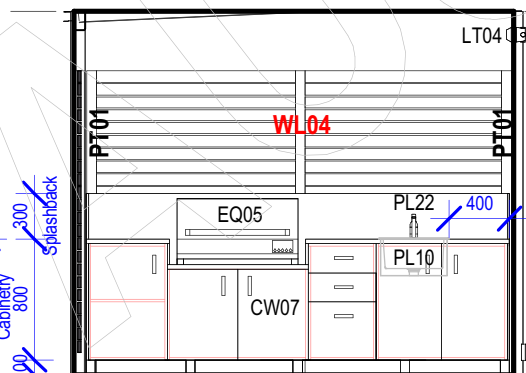
Design Office : Adelaide



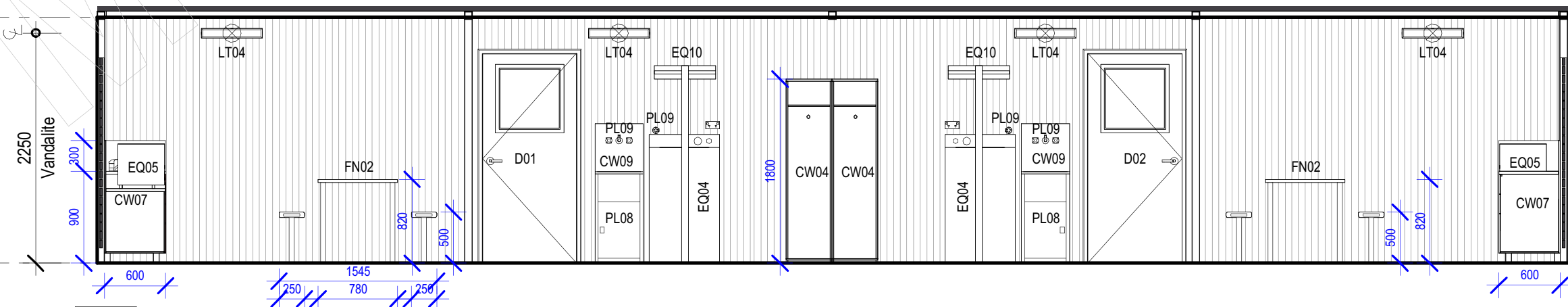
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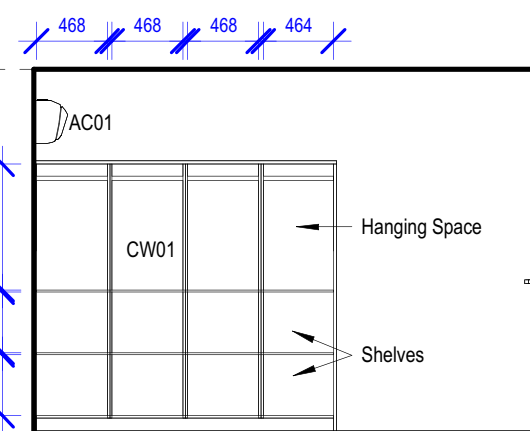
	1 : 50
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	1 : 50
--	--------



	1 : 50
--	--------



	1 : 50
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ENGINEERING DATA		Module 02	
CONCENTRATED FLOOR LOAD:		3kN	
DISTRIBUTED FLOOR LOAD:		5kPa	
LIFTING CAPACITY:		6.75t	
<div> <div>X - X</div> <div>→</div> </div>		<div> <div>Y - Y</div> <div>↓</div> </div>	
REQ'D	0.00 kN	REQ'D	0.00 kN
ACH'D	0.00 kN	ACH'D	0.00 kN

1/20/2025 11:33:40 AM Revit Model: L:\Projects\SA-NT\2024\063254-SB4 1868_Northern_King_Grapes_Lakelands_Accommodation_Village03_D_EI02_ARC\063254-002 (K) 14.4x3.3x2.4h_Northern_King_Grapes_2Bed_Accom_Main_Camp_A-14\Off.rvt

DRAWINGS - ARCHITECTURAL		
Sheet	Content	Rev
A-000	SCHEDULES	K
A-100	FLOOR PLAN	K
A-200	ELEVATIONS	K

- GENERAL NOTES & DISCLAIMERS
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CLIENT APPROVAL
CLIENT: Northern King Grapes - Lakelands
APPROVED BY:
COMPANY:
DATE (DD-MM-YYYY):
SIGNATURE:

COOK SHIRE COUNCIL
DIGITALLY STAMPED
APPROVED PLAN

Development Application: Development Permit for a Material Change of Use—Rural Industry and Workforce Accommodation

Lot: Part of Lot 2 on RP901762 and Part of Lot 13 on RP742506, defined by Lease Areas L, M and N on Preliminary Survey Plan SP352328

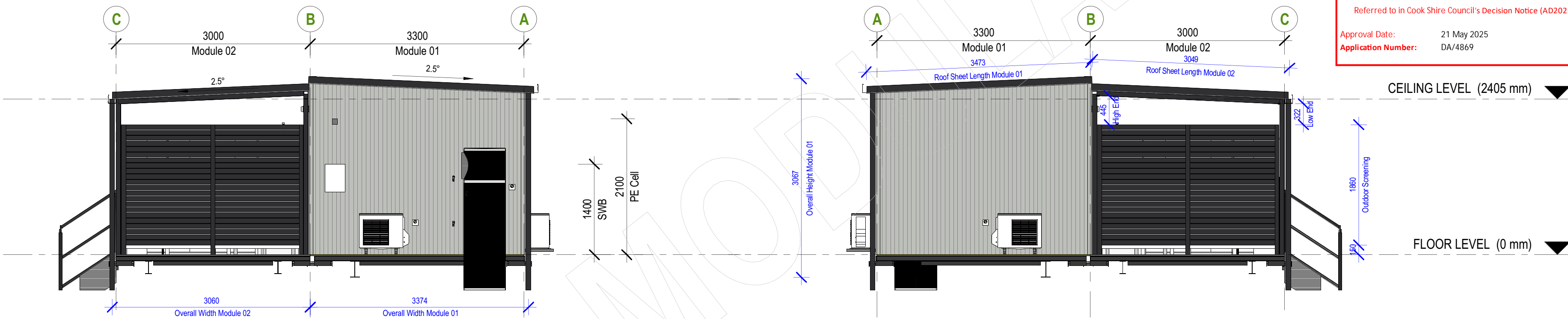
Referred to in Cook Shire Council's Decision Notice (AD2025/0002941)

Approval Date: 21 May 2025
Application Number: DA/4869



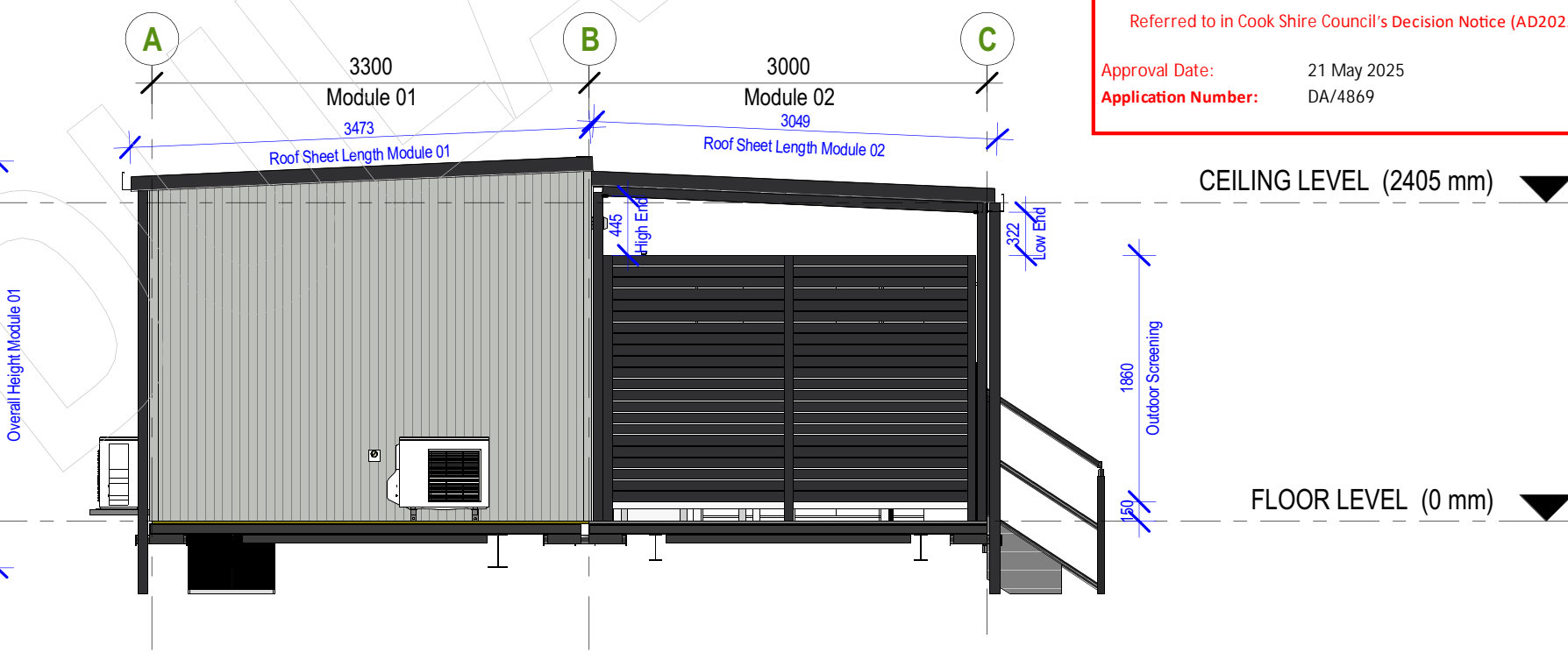
1. PROJECT NTH WEST

A-100 1 : 50



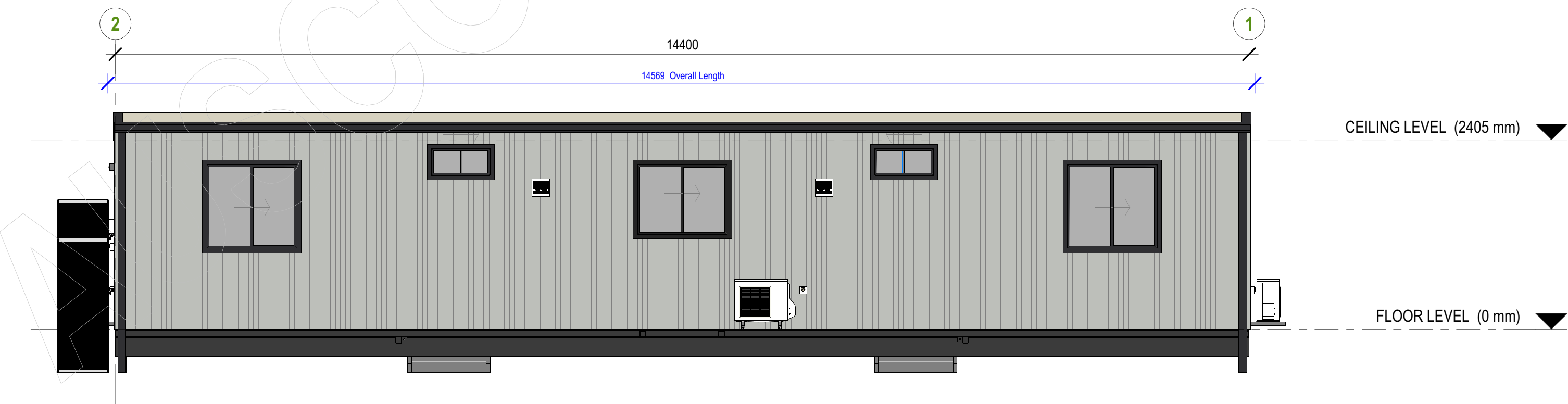
2. PROJECT STH WEST

A-100 1 : 50



3. PROJECT NTH EAST

A-100 1 : 50



4. PROJECT STH EAST

A-100 1 : 50

K	External Sink Rainwater Tap to H&C Pickover, Clothes Line Moved to over Washing Machine; Outdoor Seating Reduced to 1200L; Added Outdoor Padded Bench Seat; Adjusted Outdoor Screening; Added Broom Cupboard;	20/01/2025	KW
J	Revised External Wall; Removed Internal Wall; Adjusted & Shifted Lockers; Added Clothesline; Adjusted Ceiling; Adjusted Floor; Added Mixer Tap to Kitchen; Revised Deck Roof Posts & Beams;	13/01/2025	KW
H	Added Schedules & Elevations Sheet; Added Tagging; Updated Client Name;	17/12/2024	KW
G	Added Annotation for HWS; Updated Bathroom & VM Layout;	28/11/2024	KW
F	Updated Title Block Project Name	26/11/2024	KW
E	Revised Outdoor Cooking Area & Tap; Added Window; Updated Outdoor Lighting	22/11/2024	KW
D	Revised as per Markup - Kitchen; Outdoor Area; Screens	19/11/2024	KW

NO: DESCRIPTION DATE BY

AMENDMENT ISSUE

AUSCO MODULAR

PRELIMINARY

NOT FOR CONSTRUCTION PURPOSES UNLESS STAMPED FOR CONSTRUCTION. VERIFY DIMENSIONS AND LEVELS ON SITE BEFORE SETTING OUT. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE. REFER TO FIGURED DIMENSIONS IN MM UNLESS STATED OTHERWISE. DOCUMENTATION TO BE READ IN CONJUNCTION WITH CONSULTANT DRAWINGS, SPECIFICATIONS & OTHER DRAWINGS. COPYRIGHT OF THIS DRAWING IS VESTED WITH AUSCO & MAY NOT BE USED OR COPIED WITHOUT EXPRESS PERMISSION.

CLIENT:

Northern King Grapes - Lakelands

PROJECT:
14.4x6.3x2.4h (14 Off) 2Bed
Accommodation-Main Camp A
ADDRESS:
Lakelands, QLD

DRAWING TITLE:
ELEVATIONS

PROJECT TYPE	DESIGN LOADING	BUILD FACILITY
SALE	C235	MSA
SCALE @ A2	DRAWN:	CHECKED:
1 : 50	KW	ST
ESTIMATE NO.	4063254-002	
PRODUCTION NO.	P4063254-L02	
JOB NO.	SB	
DRAWN DATE:	DRAWING NO.	ISSUE
DEC 2024	A-200	K
A2		

Design Office : Adelaide

DRAWINGS - ARCHITECTURAL		
Sheet	Content	Rev
A-000	SCHEDULES	J
A-100	FLOOR PLAN	J
A-200	ELEVATIONS	J

- GENERAL NOTES & DISCLAIMERS**
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PROJECT INFORMATION

BUILDING CLASSIFICATION: 5
RISE IN STOREYS: (1) ONE
TYPE OF CONSTRUCTION: TYPE C CONSTRUCTION
CLIMATE ZONE: ZONE 1
ENERGY EFFICIENCY REPORT REQ: YES
CYCLONIC REGION CLASSIFICATION: REGION C
BAL LEVEL: NOT APPLICABLE
ALPINE & SUB ALPINE REGIONS (AS1170.3 CLAUSE 2.2) NOT APPLICABLE

ENGINEERING DATA

CONCENTRATED FLOOR LOAD: 2.7kN
DISTRIBUTED FLOOR LOAD: 3kPa
LIFTING CAPACITY: 6.75t

X - X	Y - Y
REQ'D	REQ'D
0.00 kN	0.00 kN
ACH'D	ACH'D
0.00 kN	0.00 kN

CLIENT APPROVAL

CLIENT: Northern King Grapes - Lakelands

APPROVED BY:

COMPANY:

DATE (DD-MM-YYYY):

SIGNATURE:

COOK SHIRE COUNCIL

**DIGITALLY STAMPED
APPROVED PLAN**

Development Application: Development Permit for a Material Change of Use—Rural Industry and Workforce Accommodation

Lot: Part of Lot 2 on RP901762 and Part of Lot 13 on RP742506, defined by Lease Areas L, M and N on Preliminary Survey Plan SP352328

Referred to in Cook Shire Council's Decision Notice (AD2025/0002941)

Approval Date: 21 May 2025

Application Number: DA/4869

J	Added 20th Visitor Chair; External AC Unit Relocated; Kitchen Mixer Removed; Rainwater Tap Added; HWS Removed; Casework Schedule Updated;	17/01/2025	KW
H	Added Schedules & Elevations Sheet; Added Tagging; Updated Client Name;	06/01/2025	KW
G	Revised Project Name;	03/12/2024	KW
F	Revised HWS Size; Added Annotation for HWS;	28/11/2024	KW
E	Updated Project Name;	28/11/2024	KW
D	Added Internal Elevation; Revised Splashback Height; Adjusted Dimensions	22/11/2024	KW
C	Added Dimensions	20/11/2024	KW
B	Revised per Markup / Email	07/11/2024	KW
A	Concept Drawing	OCT 2024	PR
NO:	DESCRIPTION	DATE	BY

AMENDMENT ISSUE



PRELIMINARY

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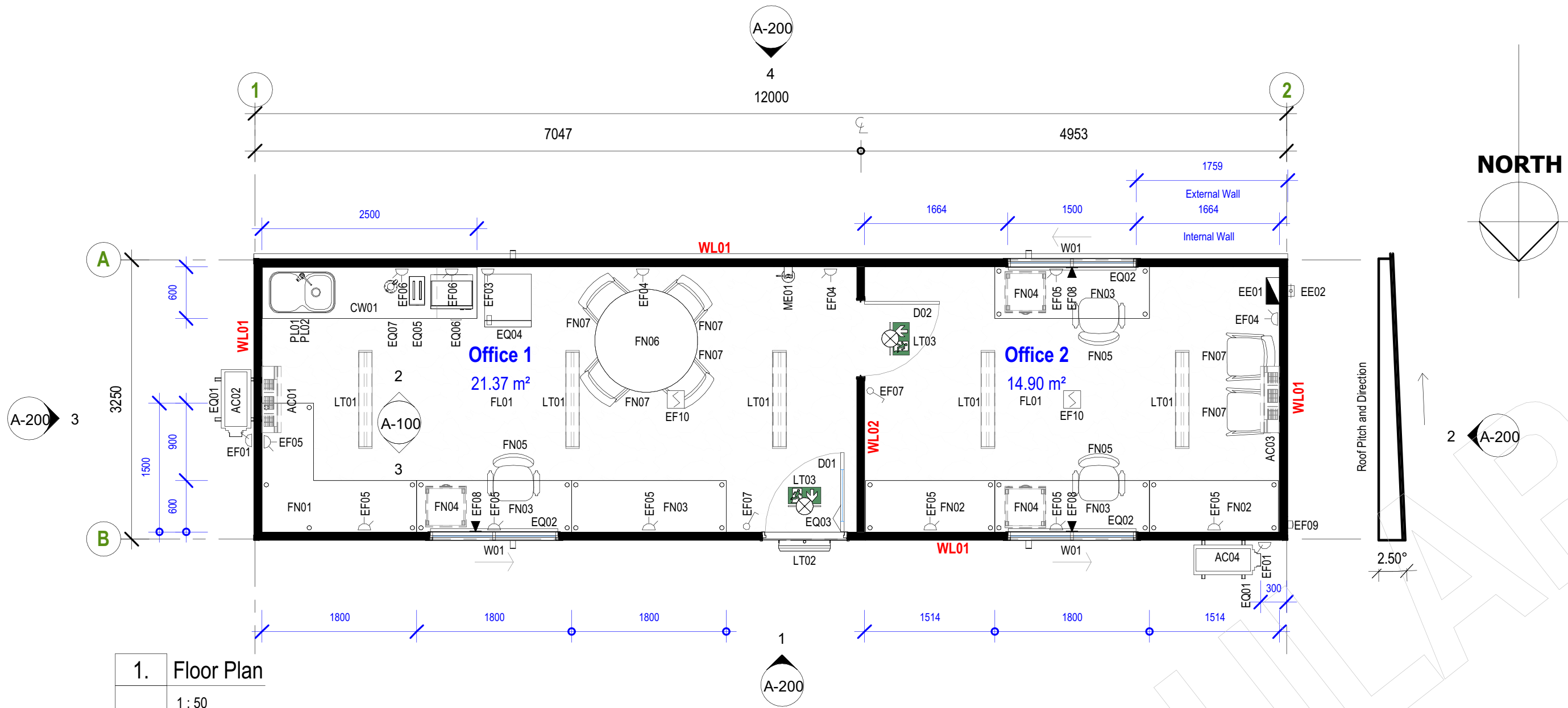
CLIENT:
Northern King Grapes - Lakelands

PROJECT:
12.0x3.25x2.4h - 2 Rm
Office_Coolroom Shed
ADDRESS:
Lakelands, QLD

DRAWING TITLE:
FLOOR PLAN

PROJECT TYPE	DESIGN LOADING	BUILD FACILITY
SALE	C235	MSA
SCALE @ A2	DRAWN: PR/KW	CHECKED: ST
ESTIMATE NO.	4063254-003	
PRODUCTION NO.	P4063254-L03	
JOB NO.	SB	
DRAWN DATE:	DRAWING NO.	ISSUE
OCT 2024	A-100	J
A2		

Design Office : Adelaide



1. Floor Plan

1 : 50

CEILING LEVEL (2405 mm)

FLOOR LEVEL (0 mm)

2. Kitchenette / Office

1 : 50

CEILING LEVEL (2405 mm)

FLOOR LEVEL (0 mm)

3. Office

1 : 50

DRAWINGS - ARCHITECTURAL

Sheet	Content	Rev
A-000	SCHEDULES	J
A-100	FLOOR PLAN	J
A-200	ELEVATIONS	J

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CLIENT APPROVAL

CLIENT: Northern King Grapes - Lakelands

APPROVED BY:

COMPANY:

DATE (DD-MM-YYYY):

SIGNATURE:

COOK SHIRE COUNCIL

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Approval Date: 21 May 2025
Application Number: DA/4869

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H	Added Schedules & Elevations Sheet; Added Tagging; Updated Client Name;	06/01/2025	KW
G	Revised Project Name;	03/12/2024	KW
F	Revised HWS Size; Added Annotation for HWS;	28/11/2024	KW
E	Updated Project Name;	28/11/2024	KW
D	Added Internal Elevation; Revised Splashback Height; Adjusted Dimensions	22/11/2024	KW
C	Added Dimensions	20/11/2024	KW
B	Revised per Markup / Email	07/11/2024	KW
A	Concept Drawing	OCT 2024	PR
NO:	DESCRIPTION	DATE	BY

AMENDMENT ISSUE



PRELIMINARY

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CLIENT:

Northern King Grapes - Lakelands

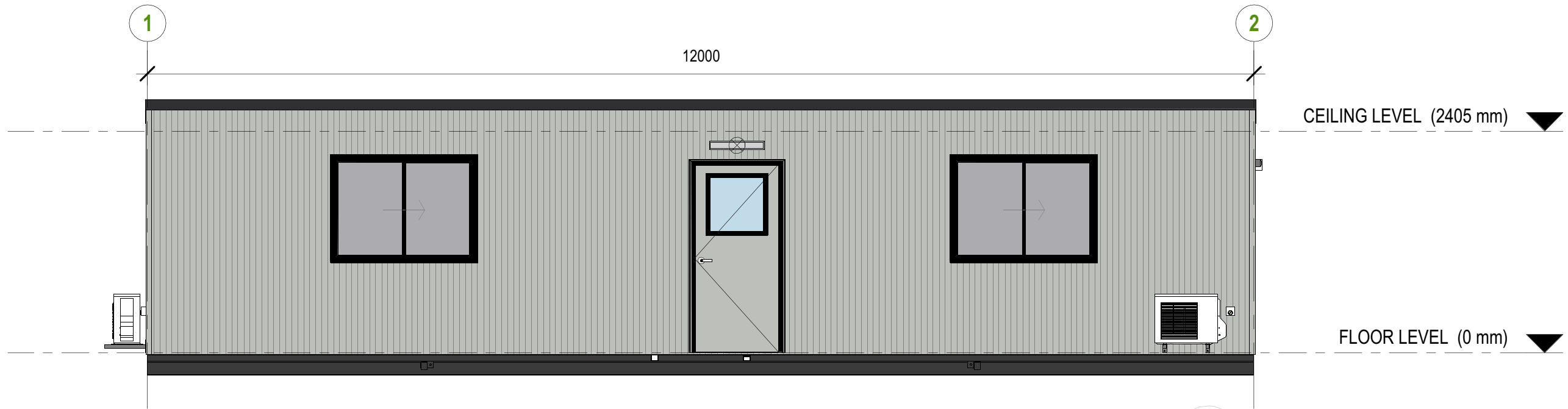
PROJECT:

12.0x3.25x2.4h - 2 Rm
Office_Coolroom Shed
ADDRESS:
Lakelands, QLD

DRAWING TITLE:
ELEVATIONS

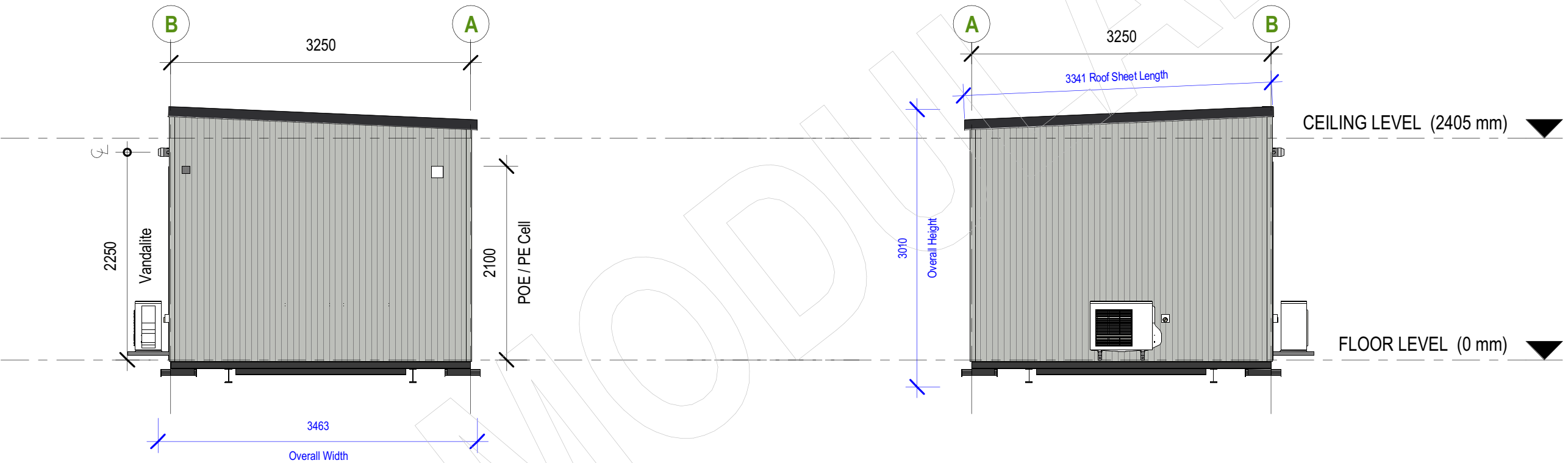
PROJECT TYPE	DESIGN LOADING	BUILD FACILITY
SALE	C235	MSA
SCALE @ A2	DRAWN:	CHECKED:
1 : 50	KW	ST
ESTIMATE NO.	4063254-003	
PRODUCTION NO.	P4063254-L03	
JOB NO.	SB	
DRAWN DATE:	DRAWING NO.	ISSUE
JAN 2025	A-200	J
AZ		

Design Office : Adelaide



1. PROJECT NTH

A-100 1 : 50

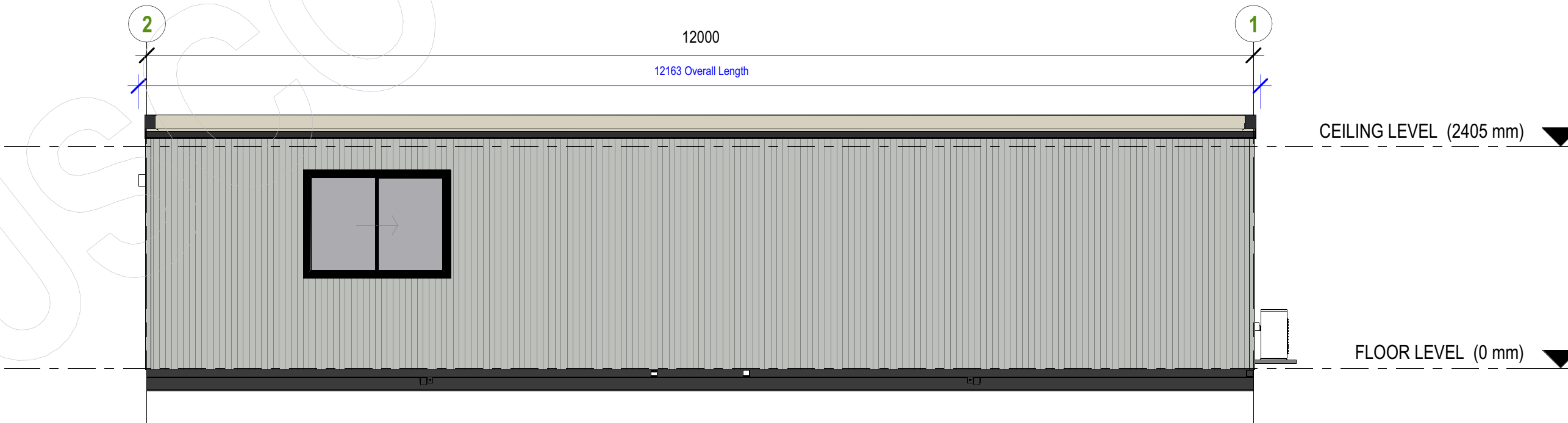


2. PROJECT WEST

A-100 1 : 50

3. PROJECT EAST

A-100 1 : 50



4. PROJECT STH

A-100 1 : 50

GENERAL NOTES & DISCLAIMERS

1. WALLCLINGROOF FRAMES MANUFACTURED IN ACCORDANCE WITH THE APPROVED FRAMING SHOP AND ASSOCIATED ENGINEERS DRAWINGS IN ACCORDANCE WITH THE STRUCTURAL ENGINEERS REQUIREMENTS

2. STANDARD BUILDING CHASSIS REQUIRED TO ALSO STANDARD CHASSIS DRAWINGS

3. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE RELEVANT BUILDING LAWS OF NEW ZEALAND (STANDARDS) AND THE NATIONAL CONSTRUCTION CODE



4. STANDARD WIND REGION FOR STANDARD DESIGN IS WIND REGION B. REFER TO CLIENT QUOTE FOR DEVIATIONS

5. MANAGED ENERGY EFFICIENCY COMPLIANCE IS NCC2022 SECTION J. REFER TO CLIENT QUOTE FOR DEVIATIONS

6. PLUMBING, PLUMBING & ELECTRICAL REPRESENTATIONS ARE INDICATIVE. APPEARANCE MAY VARY DEPENDING ON SUPPLIER

7. LUMBER ITEMS TO BE PACKED FOR TRANSPORT

ENGINEERING DATA	
CONCENTRATED FLOOR LOAD:	2.7kN
DISTRIBUTED FLOOR LOAD:	3kPa
LIFTING CAPACITY:	4.5t

X - X 	Y - Y 
REQ'D 0.00 kN	REQ'D 0.00 kN
ACH'D 0.00 kN	ACH'D 0.00 kN

CLIENT APPROVAL
CLIENT: Northern King Grapes - Lakelands
APPROVED BY:
COMPANY:
DATE (DD-MM-YYYY):
SIGNATURE:

Architectural floor plan of the 1st floor. The plan shows two office layouts. The left layout includes windows (W01), doors (D01), and various furniture (FN01-FN04, ME01). The right layout shows a different arrangement of furniture (FN01-FN04). Dimensions of 2200 and 205 are indicated. Labels include LT01, EF10, AC01, T01, and LT02.

CEILING LEVEL (2405 mm)

FLOOR LEVEL (0 mm)

2000

LT01 EF10 LT01 AC01 EE01 FN02 FN01 FN04

COOK SHIRE COUNCIL
DIGITALLY STAMPED
APPROVED PLAN

Development Application: Development Permit for a Material Change of Use—Rural Industry and Workforce Accommodation

Lot: Part of Lot 2 on RP901762 and Part of Lot 13 on RP742506, defined by Lease Areas L, M and N on Preliminary Survey Plan SP352328

Referred to in Cook Shire Council's Decision Notice (AD2025/0002941)

Approval Date: 21 May 2025

Application Number: DA/4869

F	Added Schedules & Elevation Sheet; Added Tagging; Updated Client Name:	08/12/2024	KW
E	Revised Project Name;	03/12/2024	KW
D	Removed DP and Gutters; Added Internal Elevation	26/11/2024	KW
C	Remove 1x1x1 Draw; Added Door View Panel; Shifted External AC Condenser;	25/11/2024	KW
B	Revised per Markup / Email	11/11/2024	KW
A	Concept Drawing	OCT 2024	PR
NO:	DESCRIPTION	DATE	BY



PRELIMINARY

NOT FOR CONSTRUCTION PURPOSES UNLESS STAMPED FOR CONSTRUCTION. VERIFY DIMENSIONS AND LEVELS ON SITE BEFORE SETTING OUT. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE. REFER TO FIGURED DIMENSIONS IN MM UNLESS STATED OTHERWISE. DOCUMENTATION TO BE READ IN CONJUNCTION WITH CONSULTANT DRAWINGS, SPECIFICATIONS & OTHER DRAWINGS. COPYRIGHT OF THIS DRAWING IS VESTED WITH AUSCO & MAY NOT BE USED OR COPIED WITHOUT EXPRESS PERMISSION.

CLIENT:
Northern King Grapes - Lakelands

PROJECT:
**6.0x3.25x2.4h - Sticker Room
Coolroom Shed**

ADDRESS:
Lakelands, QLD

DRAWING TITLE:
FLOOR PLAN

PROJECT TYPE	DESIGN/LOADING	BUILD FACILITY
SALE	C235	MSA
SCALE @ A2	DRAWN:	CHECKED:
1 : 50	PR/KW	ST
ESTIMATE NO.		4063254-004
PRODUCTION NO.		P4063254-L04
JOB NO.		SB
DRAWING DATE.	DRAWING NO.	ISSUE
NOV 2024	A-100	F

DRAWINGS - ARCHITECTURAL		
Sheet	Content	Rev
A-000	SCHEDULES	F
A-100	FLOOR PLAN	F
A-200	ELEVATIONS	F

- GENERAL NOTES & DISCLAIMERS**
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CLIENT APPROVAL

CLIENT: Northern King Grapes - Lakelands

APPROVED BY:

COMPANY:

DATE (DD-MM-YYYY):

SIGNATURE:

COOK SHIRE COUNCIL

**DIGITALLY STAMPED
APPROVED PLAN**

Development Application: Development Permit for a Material Change of Use—Rural Industry and Workforce Accommodation

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Approval Date: 21 May 2025
Application Number: DA/4869

F	Added Schedules & Elevation	08/12/2024	KW
F	Sheet, Added Tagging, Updated		
F	Client Name:		
E	Revised Project Name:	03/12/2024	KW
D	Removed DP and Gutters, Added Internal Elevation	26/11/2024	KW
C	Remove 1x File Draw, Added Door View Panel, Shifted External AC Condenser	25/11/2024	KW
B	Revised per Markup / Email	11/11/2024	KW
A	Concept Drawing	OCT 2024	PR
NO:	DESCRIPTION	DATE	BY

AMENDMENT ISSUE



PRELIMINARY

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CLIENT:

Northern King Grapes - Lakelands

PROJECT:

6.0x3.25x2.4h - Sticker Room Coolroom Shed

ADDRESS:

Lakelands, QLD

DRAWING TITLE:

ELEVATIONS

PROJECT TYPE	DESIGN LOADING	BUILD FACILITY
SALE	C235	MSA

SCALE @ A2	DRAWN	CHECKED
1 : 50	KW	ST

ESTIMATE NO. **4063254-004**

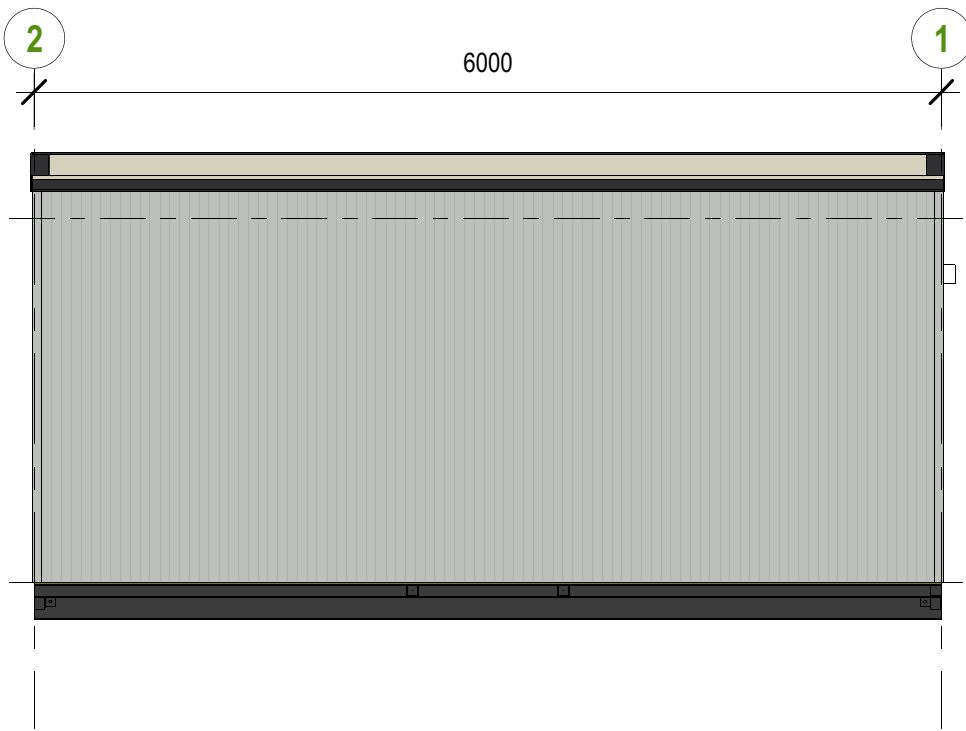
PRODUCTION NO. **P4063254-L04**

JOB NO. **SB**

DRAWN DATE. DRAWING NO. ISSUE
JAN 2025 A-200 F

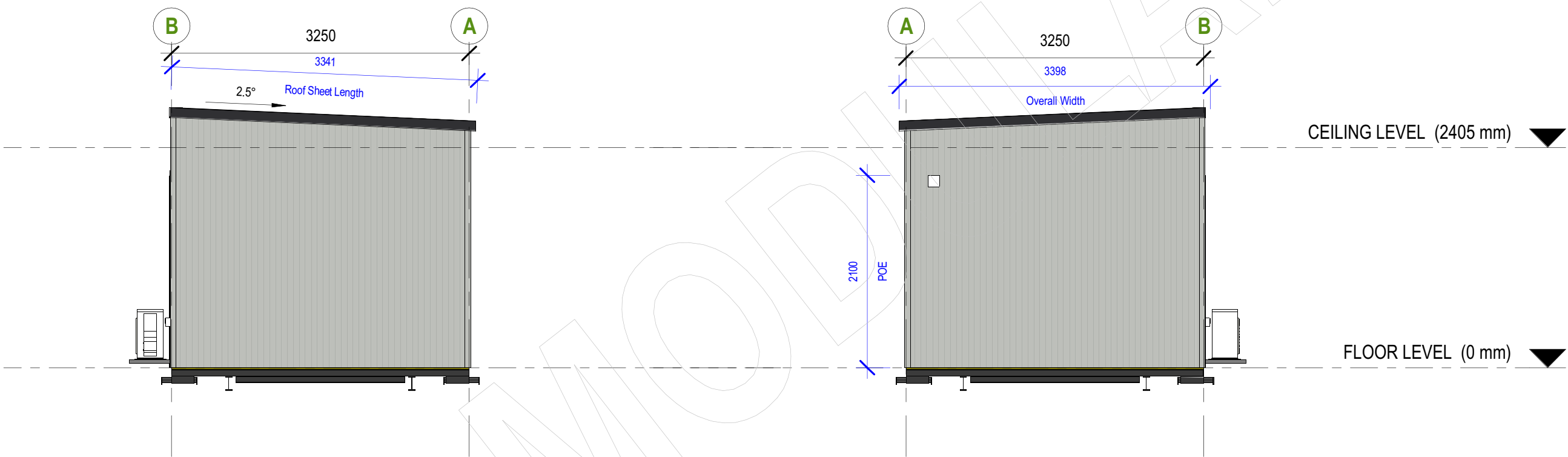
A2

Design Office : Adelaide



1. PROJECT NTH

1 : 50

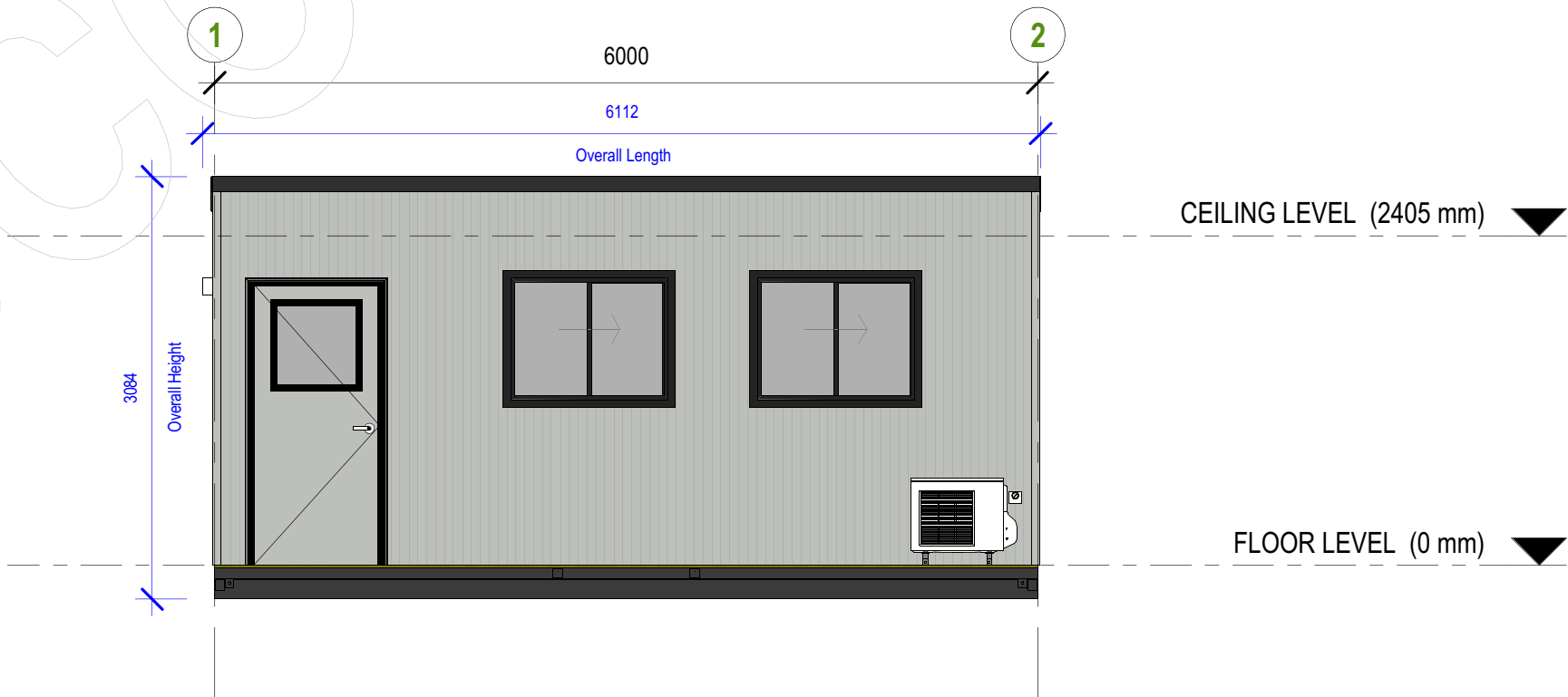


2. PROJECT EAST

1 : 50

3. PROJECT WEST

1 : 50



4. PROJECT STH

1 : 50

DRAWINGS - ARCHITECTURAL		
Sheet	Content	Rev
A-000	SCHEDULES	F
A-100	FLOOR PLAN	F
A-200	ELEVATIONS	F

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PROJECT INFORMATION	
BUILDING CLASSIFICATION:	6
RISE IN STOREYS:	(1) ONE
TYPE OF CONSTRUCTION:	TYPE C CONSTRUCTION
CLIMATE ZONE:	ZONE 1
ENERGY EFFICIENCY REPORT REQ:	YES
CYCLONIC REGION CLASSIFICATION:	REGION C
BAL LEVEL:	NOT APPLICABLE
ALPINE & SUB ALPINE REGIONS (AS1170.3 CLAUSE 2.2)	NOT APPLICABLE

ENGINEERING DATA

CONCENTRATED FLOOR LOAD:	2.7kN
DISTRIBUTED FLOOR LOAD:	3kPa
LIFTING CAPACITY:	6.75t

CLIENT APPROVAL

CLIENT: Northern King Grapes - Lakelands

APPROVED BY:

COMPANY:

DATE (DD-MM-YYYY):

SIGNATURE:

COOK SHIRE COUNCIL

DIGITALLY STAMPED
APPROVED PLAN

Development Application: Development Permit for a Material Change of Use—Rural Industry and Workforce Accommodation

Lot: Part of Lot 2 on RP901762 and Part of Lot 13 on RP742506, defined by Lease Areas L, M and N on Preliminary Survey Plan SP352328

Referred to in Cook Shire Council's Decision Notice (AD2025/0002941)

Approval Date: 21 May 2025
Application Number: DA/4869

F	Relocated External AC Units; Wall Baffle Schedule Amended; Rainwater Tap Provision to Cold Only; HWS Removed.	17/01/2025	KW
E	Added Schedule & Elevations Sheet; Added Tagging; Updated Client Name.	09/01/2025	KW
D	Revised HWS Size; Added Annotation for HWS.	28/11/2024	KW
C	Revised Kitchenette per Markup; Fridge now Commercial Single Glass Door; Mixer now Rainwater Tap.	25/11/2024	KW
B	Revised Kitchenette; Shifted Bench Seats.	20/11/2024	KW
A	Concept Drawing	NOV 2024	KW
NO:	DESCRIPTION	DATE	BY

AMENDMENT ISSUE



PRELIMINARY

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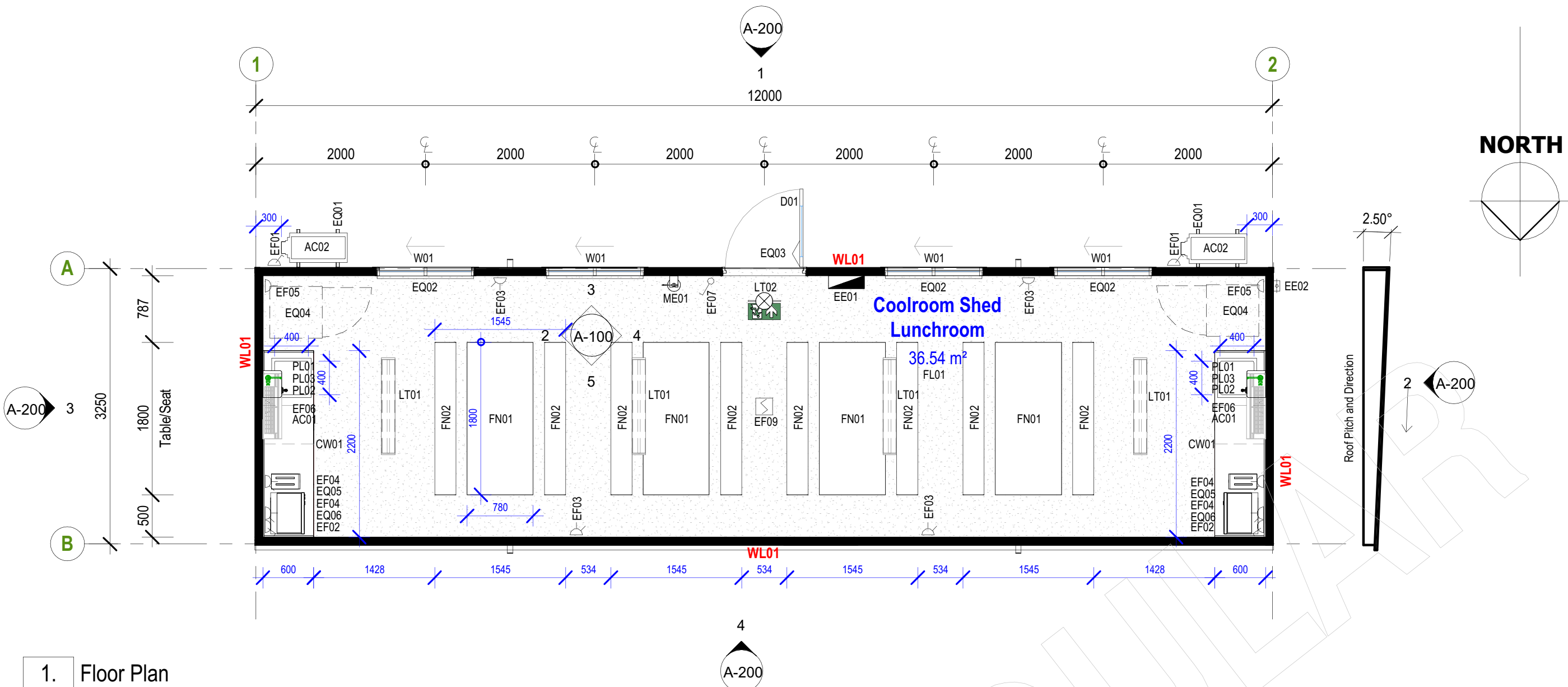
CLIENT:
Northern King Grapes - Lakelands

PROJECT:
12.0x3.25x2.4h Coolroom Shed Lunchroom
ADDRESS:
Lakelands, QLD

DRAWING TITLE:
FLOOR PLAN

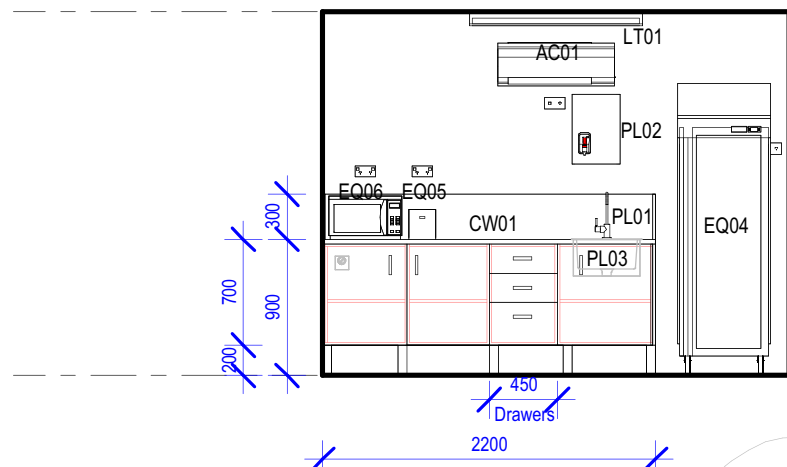
PROJECT TYPE	DESIGN LOADING	BUILD FACILITY
SALE	C235	MSA
SCALE @ A2	DRAWN: 1:50	CHECKED: ST
ESTIMATE NO.	4063254-005	
PRODUCTION NO.	P4063254-L05	
JOB NO.	SB	
DRAWN DATE:	DRAWING NO. A-100	ISSUE F
1/17/2025 11:45:38 AM	A2	

Design Office : Adelaide



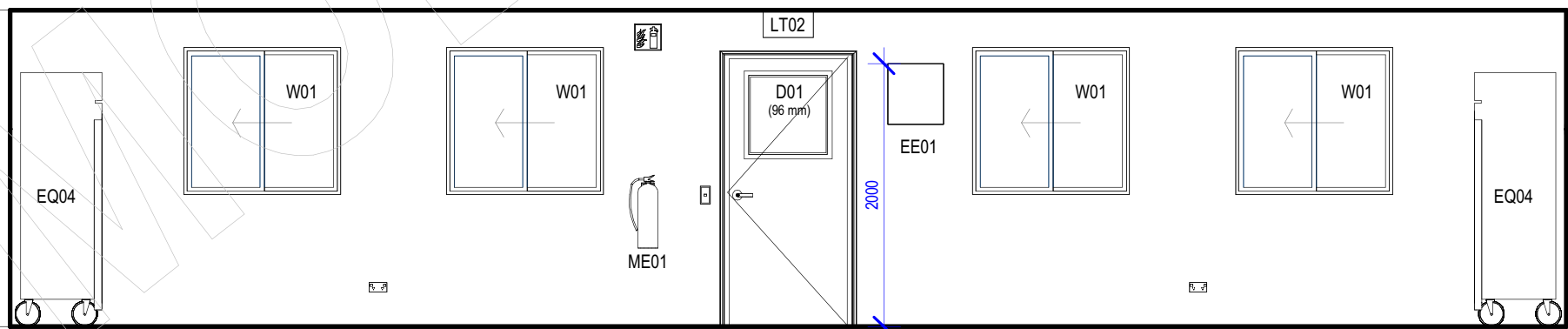
1. Floor Plan

1 : 50



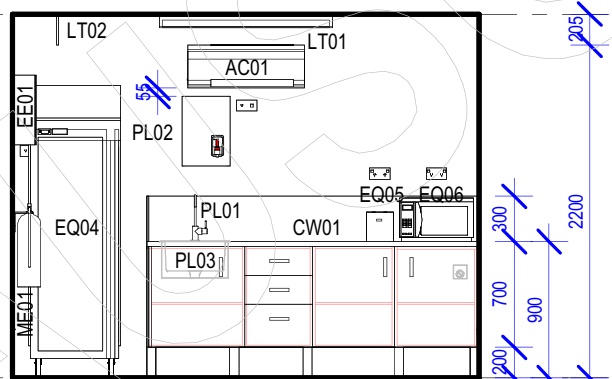
2. Kitchenette View A

1 : 50



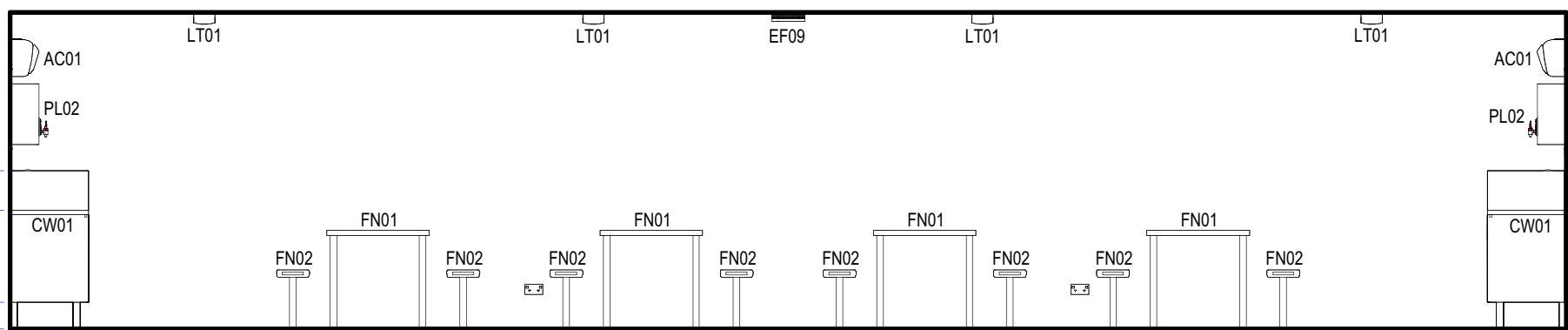
3. Lunchroom View A

1 : 50



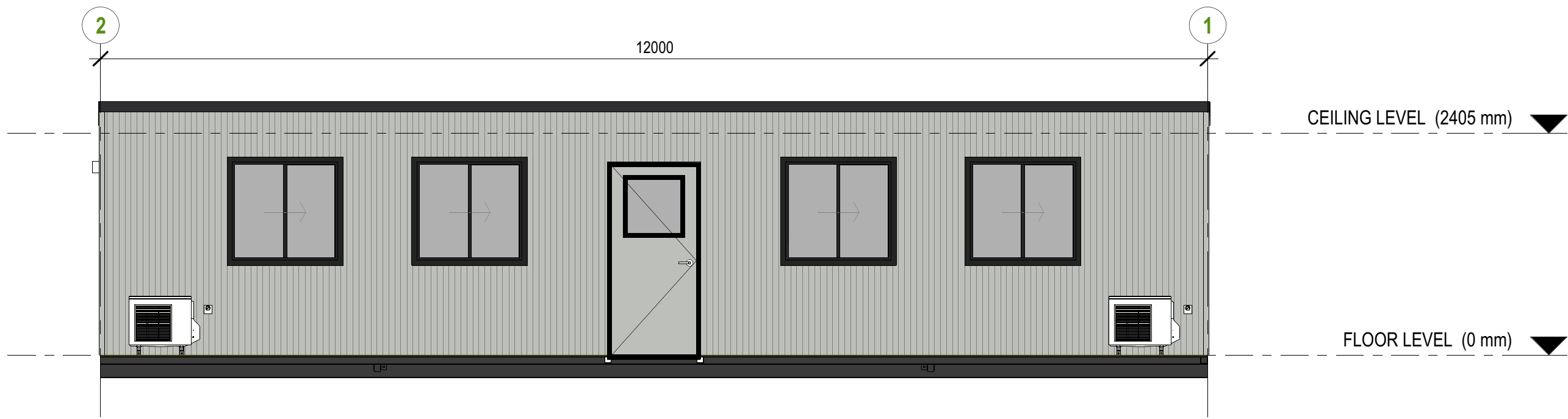
4. Kitchenette View B

1 : 50



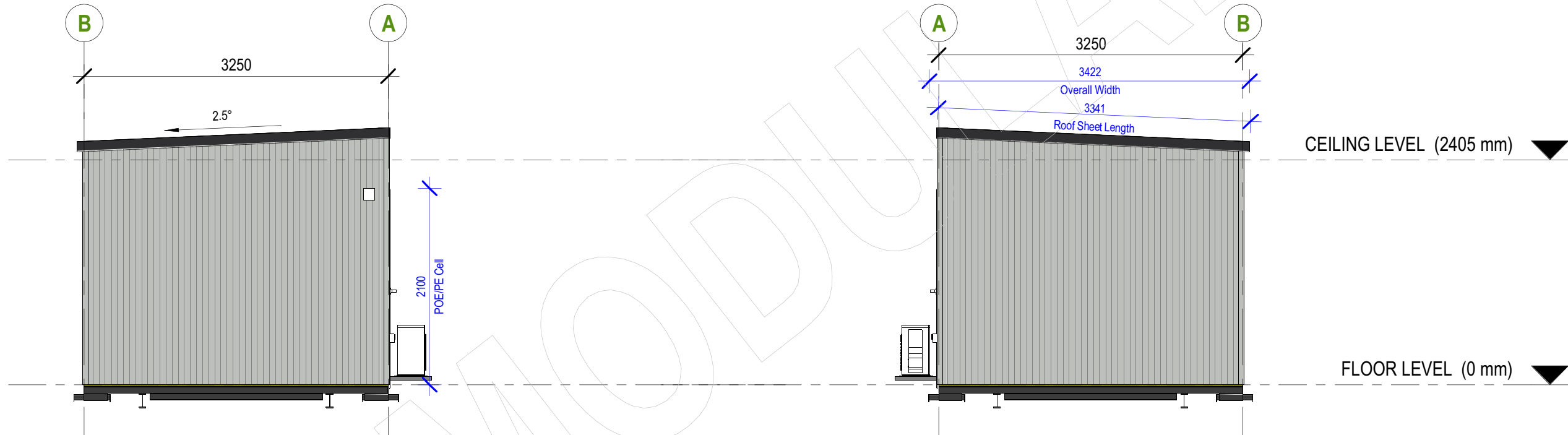
5. Lunchroom View B

1 : 50



1. PROJECT STH

A-100 1 : 50

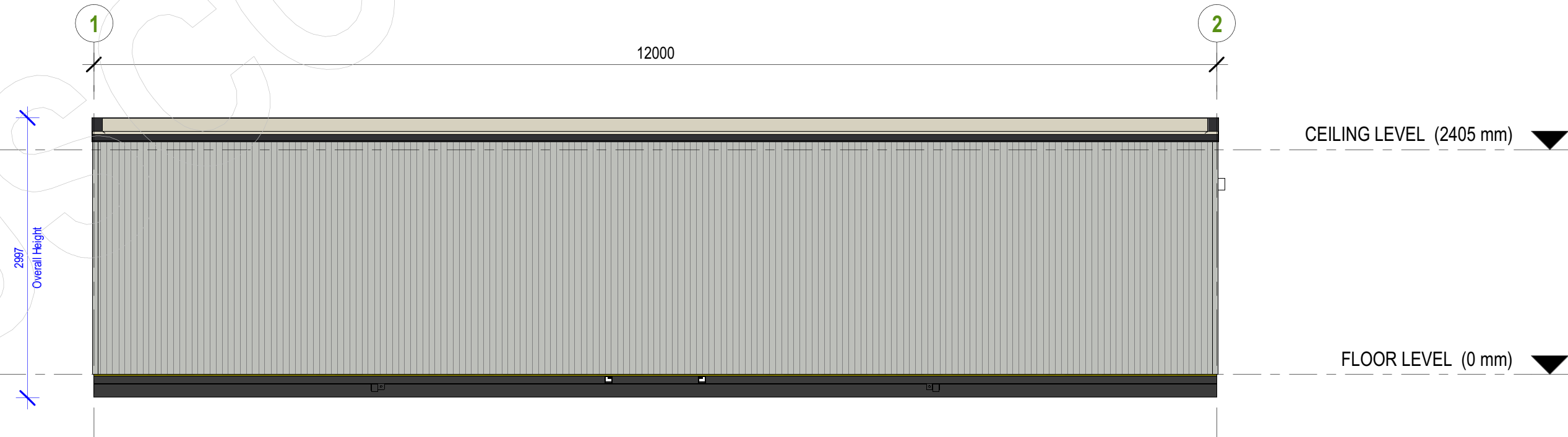


2. PROJECT WEST

A-100 1 : 50

3. PROJECT EAST

A-100 1 : 50



4. PROJECT NTH

A-100 1 : 50

DRAWINGS - ARCHITECTURAL		
Sheet	Content	Rev
A-000	SCHEDULES	F
A-100	FLOOR PLAN	F
A-200	ELEVATIONS	F

GENERAL NOTES & DISCLAIMERS

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CLIENT APPROVAL

CLIENT: Northern King Grapes - Lakelands

APPROVED BY:

COMPANY:

DATE (DD-MM-YYYY):

SIGNATURE:

COOK SHIRE COUNCIL

DIGITALLY STAMPED APPROVED PLAN

Development Application: Development Permit for a Material Change of Use—Rural Industry and Workforce Accommodation

Lot: Part of Lot 2 on RP901762 and Part of Lot 13 on RP742506, defined by Lease Areas L, M and N on Preliminary Survey Plan SP352328

Referred to in Cook Shire Council's Decision Notice (AD2025/0002941)

Approval Date: 21 May 2025
Application Number: DA/4869

F	Relocated External AC Units; Wall Boler Schedule Amended; Rainwater Tap Provision to Cold Only; HWS Removed.	17/01/2025	KW
E	Added Schedule & Elevations Sheet; Added Tagging; Updated Client Name.	09/01/2025	KW
D	Revised HWS Size; Added Annotation for HWS.	28/11/2024	KW
C	Revised Kitchenette per Markup; Fridge now Commercial Single Glass Door; Mixer now Rainwater Tap.	25/11/2024	KW
B	Revised Kitchenette; Shifted Bench Seats.	20/11/2024	KW
A	Concept Drawing	NOV 2024	KW
NO:	DESCRIPTION	DATE	BY

AMENDMENT ISSUE



PRELIMINARY

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CLIENT:
Northern King Grapes - Lakelands

PROJECT:
12.0x3.25x2.4h Coolroom Shed Lunchroom

ADDRESS:
Lakelands, QLD

DRAWING TITLE:
ELEVATIONS

PROJECT TYPE: DESIGN LOADING: BUILD FACILITY:
SALE C235 MSA

SCALE @ A2: 1 : 50
DRAWN: KW
CHECKED: ST

ESTIMATE NO.:
4063254-005

PRODUCTION NO.:
P4063254-L05

JOB NO.:
SB

DRAWN DATE: 1/17/2025
DRAWING NO.: A-200
ISSUE: F

1/17/2025 11:48:40 AM
A2

Design Office : Adelaide

DRAWINGS - ARCHITECTURAL		
Sheet	Content	Rev
A-000	SCHEDULES	F
A-100	FLOOR PLAN	F
A-200	ELEVATIONS	F

- GENERAL NOTES & DISCLAIMERS
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PROJECT INFORMATION

BUILDING CLASSIFICATION: 5
RISE IN STOREYS: (1) ONE
TYPE OF CONSTRUCTION: TYPE C CONSTRUCTION
CLIMATE ZONE: ZONE 1
ENERGY EFFICIENCY REPORT REQ: YES
CYCLONIC REGION CLASSIFICATION: REGION C
BAL LEVEL: NOT APPLICABLE
ALPINE & SUB ALPINE REGIONS: NOT APPLICABLE (AS1170.3 CLAUSE 2.2)

ENGINEERING DATA Module 01

CONCENTRATED FLOOR LOAD: 2.7kN
DISTRIBUTED FLOOR LOAD: 3kPa
LIFTING CAPACITY: 4.5t

X - X	Y - Y
REQ'D 0.00 kN	REQ'D 0.00 kN
ACH'D 0.00 kN	ACH'D 0.00 kN

ENGINEERING DATA Module 02

CONCENTRATED FLOOR LOAD: 3kN
DISTRIBUTED FLOOR LOAD: 5kPa
LIFTING CAPACITY: 4.5t

X - X	Y - Y
REQ'D 0.00 kN	REQ'D 0.00 kN
ACH'D 0.00 kN	ACH'D 0.00 kN

COOK SHIRE COUNCIL
DIGITALLY STAMPED
APPROVED PLAN

Development Application: Development Permit for a Material Change of Use—Rural Industry and Workforce Accommodation

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Approval Date: 21 May 2025
Application Number: DA/4869

1. Floor Plan

1 : 50

2. Kitchenette

1 : 50

3. Office Side A

1 : 50

4. Office Side B

1 : 50

F	Added Schedules & Elevation	07/01/2025	KW
	Sheet, Added Tagging, Updated Client Name		
E	Revised Project Name/Quantity	03/12/2024	KW
D	Revised Title Block Project Name, 26/11/2024		KW
	Added Internal Elevations, Added Notation		
C	Revised External Light Location & Size, Shifted External AC Unit, Moved new Rainwater Tap, Revised Deck, Added Stairs, Removed Ammonia & HWS	25/11/2024	KW
B	Revised Deck, Added Stairs, Removed Ammonia & HWS	21/11/2024	KW
A	Concept Drawing	NOV 2024	KW
NO:	DESCRIPTION	DATE	BY

AMENDMENT ISSUE



PRELIMINARY

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CLIENT:
Northern King Grapes - Lakelands

PROJECT:
6.0x5.05x2.4h (3 Off) - Managers Office
ADDRESS:
Lakelands, QLD

DRAWING TITLE:
FLOOR PLAN

PROJECT TYPE: DESIGN LOADING: BUILD FACILITY:
SALE C235 MSA

SCALE @ A2: 1 : 50
DRAWN: KW
CHECKED: ST

ESTIMATE NO.: 4063254-006

PRODUCTION NO.: P4063254-L06

JOB NO.: SB

DRAWN DATE: NOV 2024
DRAWING NO.: A-100
ISSUE: F

1/14/2025 9:13:28 AM

Design Office : Adelaide

DRAWINGS - ARCHITECTURAL

Sheet	Content	Rev
A-000	SCHEDULES	F
A-100	FLOOR PLAN	F
A-200	ELEVATIONS	F

- GENERAL NOTES & DISCLAIMERS
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CLIENT APPROVAL

CLIENT: Northern King Grapes - Lakelands

APPROVED BY:

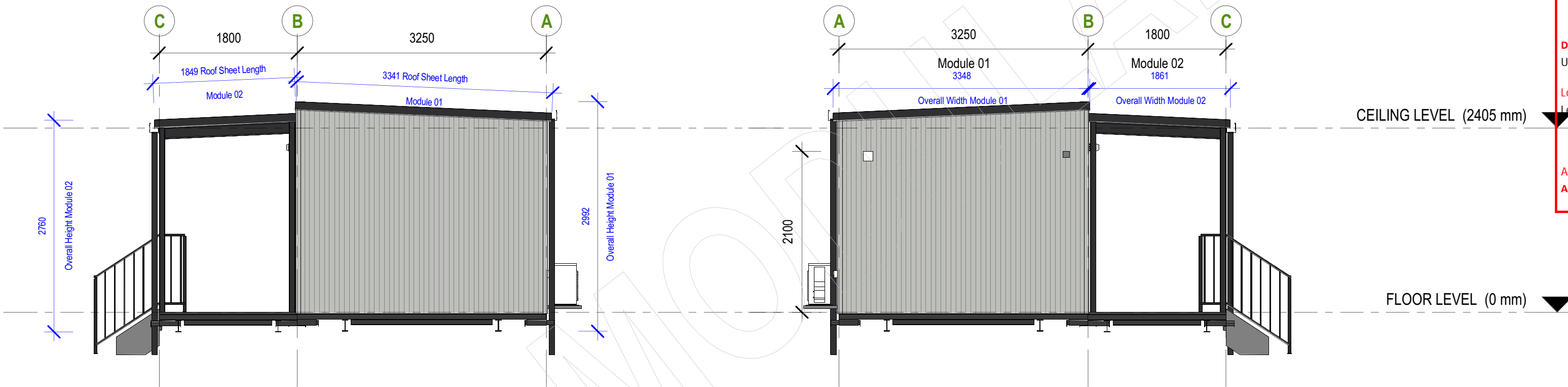
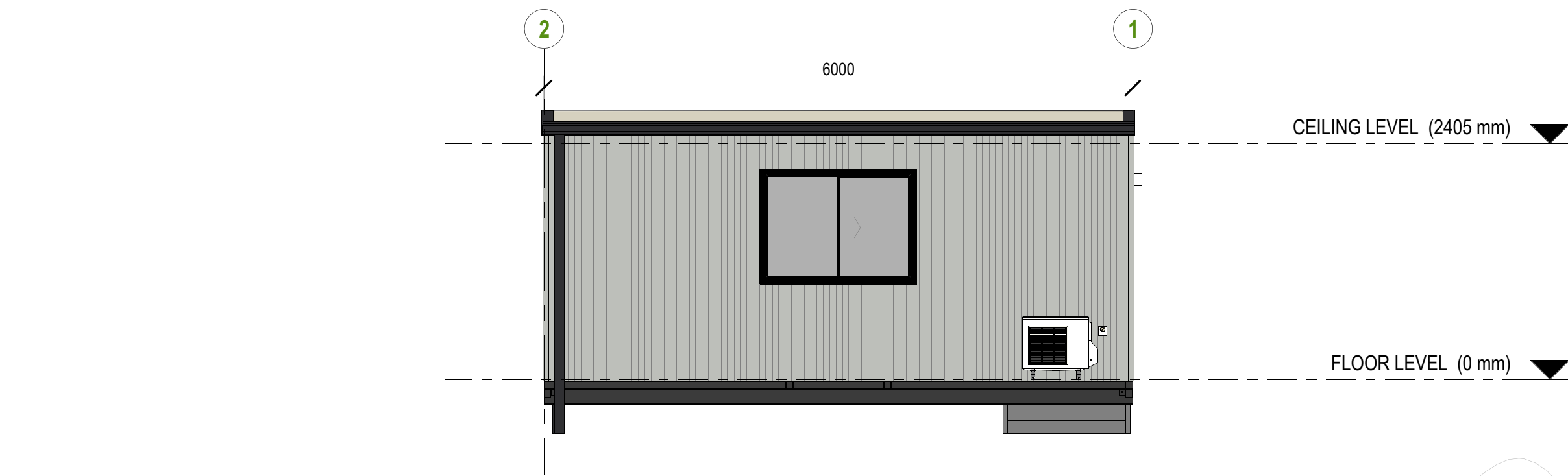
COMPANY:

DATE (DD-MM-YYYY):

SIGNATURE:

1. PROJECT WEST

1 : 50

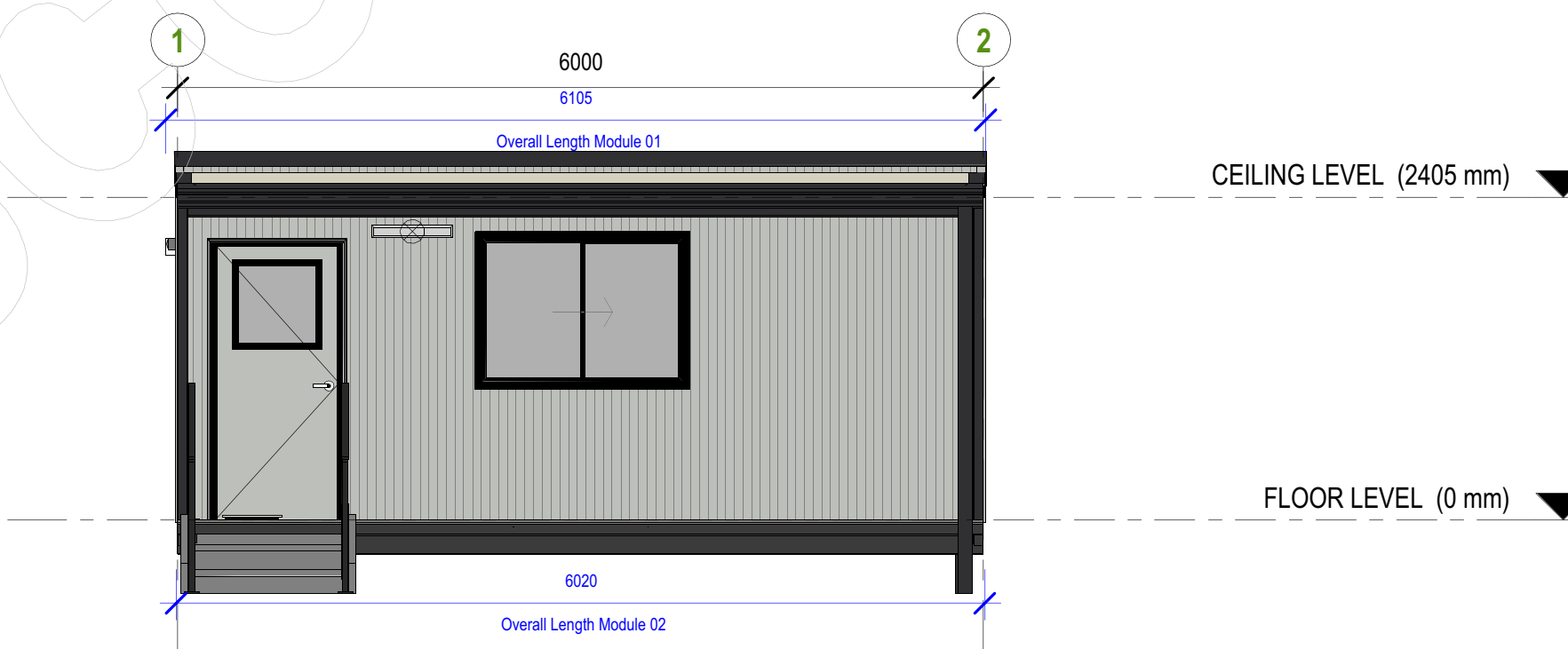


2. PROJECT NTH

1 : 50

3. PROJECT STH

1 : 50



4. PROJECT EAST

1 : 50

COOK SHIRE COUNCIL

DIGITALLY STAMPED
APPROVED PLAN

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NO:	DESCRIPTION	DATE	BY

AMENDMENT ISSUE



PRELIMINARY

NOT FOR CONSTRUCTION PURPOSES UNLESS STAMPED FOR CONSTRUCTION. VERIFY DIMENSIONS AND LEVELS ON SITE BEFORE SETTING OUT. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE. REFER TO FIGURED DIMENSIONS IN MM UNLESS STATED OTHERWISE. DOCUMENTATION TO BE READ IN CONJUNCTION WITH CONSULTANT DRAWINGS. SPECIFICATIONS & OTHER DRAWINGS. COPYRIGHT OF THIS DRAWING IS VESTED WITH AUSCO & MAY NOT BE USED OR COPIED WITHOUT EXPRESS PERMISSION.

CLIENT:

Northern King Grapes - Lakelands

PROJECT:

6.0x5.05x2.4h (3 Off) - Managers Office

ADDRESS:

Lakelands, QLD

DRAWING TITLE:

ELEVATIONS

PROJECT TYPE	DESIGN LOADING	BUILD FACILITY
SALE	C235	MSA

SCALE @ A2	DRAWN	CHECKED
1 : 50	KW	ST

ESTIMATE NO. 4063254-006

PRODUCTION NO. P4063254-L06

JOB NO. SB

DRAWN DATE. DRAWING NO. ISSUE

JAN 2025 A-200 F

1/14/2025 9:13:30 AM

Design Office : Adelaide

DRAWINGS - ARCHITECTURAL		
Sheet	Content	Rev
A-000	SCHEDULES	G
A-100	FLOOR PLAN	G
A-200	ELEVATIONS	G

- GENERAL NOTES & DISCLAIMERS
- WALL/CILING/ROOF FRAMES MANUFACTURED IN ACCORDANCE WITH THE APPROVED FRAMING SHOP DRAWINGS AND ASSEMBLED IN ACCORDANCE WITH THE STRUCTURAL ENGINEERS REQUIREMENTS
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 - LOOSE ITEMS TO BE PACKED FOR TRANSPORT

PROJECT INFORMATION

BUILDING CLASSIFICATION: 10a
RISE IN STOREYS: (1) ONE
TYPE OF CONSTRUCTION: TYPE C CONSTRUCTION
CLIMATE ZONE: ZONE 1
ENERGY EFFICIENCY REPORT REQ: NOT APPLICABLE
CYCLONIC REGION CLASSIFICATION: REGION C
BAL LEVEL: NOT APPLICABLE
ALPINE & SUB ALPINE REGIONS (AS1170.3 CLAUSE 2.2): NOT APPLICABLE

ENGINEERING DATA Module 01

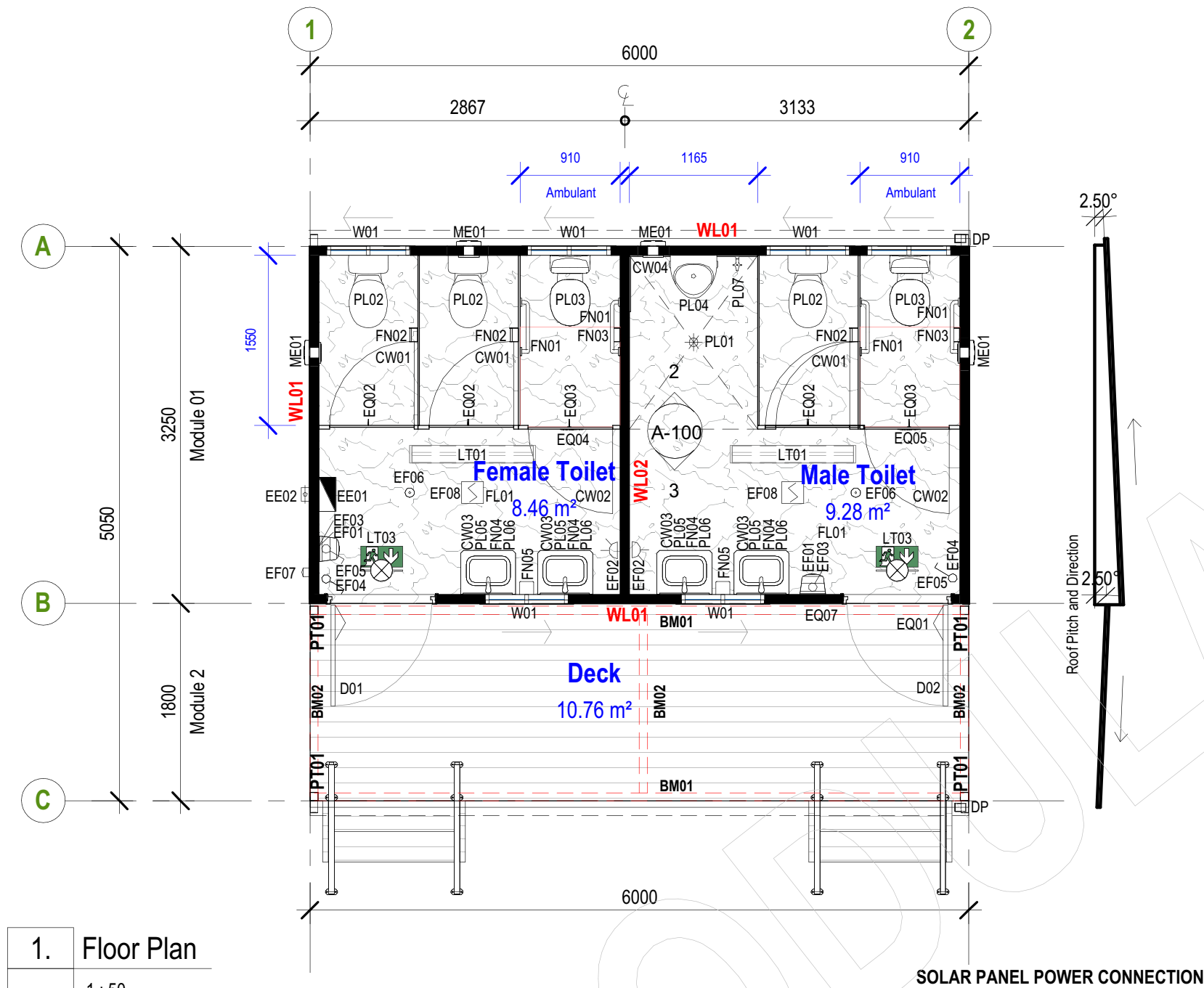
CONCENTRATED FLOOR LOAD: 3kN
DISTRIBUTED FLOOR LOAD: 5kPa
LIFTING CAPACITY: 4.5t

X - X	Y - Y
REQ'D 0.00 kN	REQ'D 0.00 kN
ACH'D 0.00 kN	ACH'D 0.00 kN

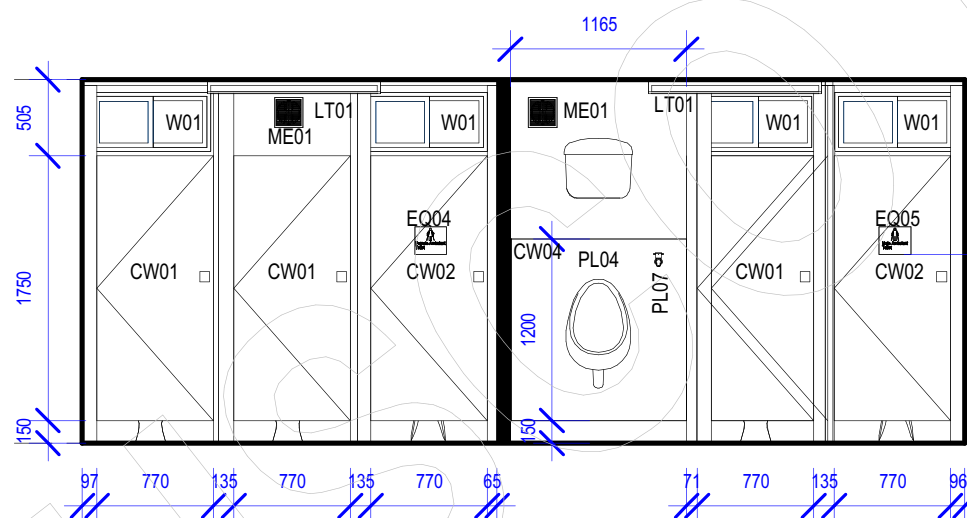
ENGINEERING DATA Module 02

CONCENTRATED FLOOR LOAD: 3kN
DISTRIBUTED FLOOR LOAD: 5kPa
LIFTING CAPACITY: 4.5t

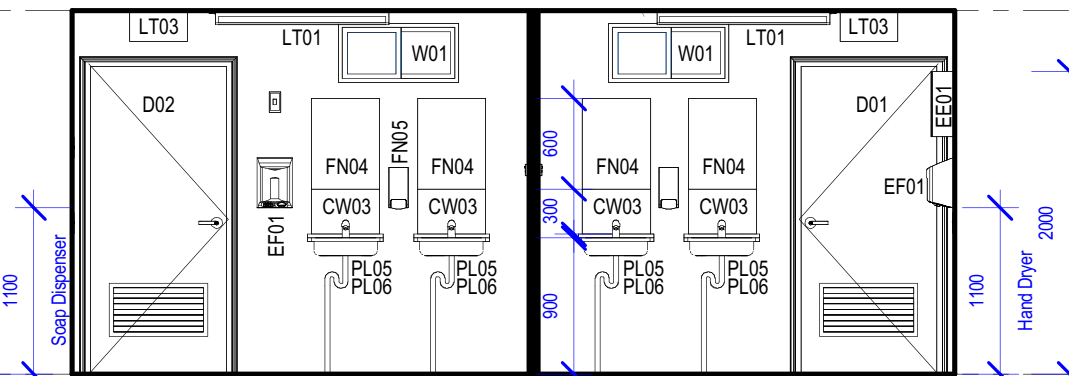
X - X	Y - Y
REQ'D 0.00 kN	REQ'D 0.00 kN
ACH'D 0.00 kN	ACH'D 0.00 kN



1. Floor Plan
1 : 50



2. Internal View A
1 : 50



3. Internal View B
1 : 50

COOK SHIRE COUNCIL
DIGITALLY STAMPED
APPROVED PLAN

Development Application: Development Permit for a Material Change of Use—Rural Industry and Workforce Accommodation

Lot: Part of Lot 2 on RP901762 and Part of Lot 13 on RP742506, defined by Lease Areas L, M and N on Preliminary Survey Plan SP352328

Referred to in Cook Shire Council's Decision Notice (AD2025/0002941)

Approval Date: 21 May 2025
Application Number: DA/4869

G	Motion Sensor Added & Over-side Off Switch Added for Exhausts:	17/01/2025	KW
F	Added Schedules & Elevation Sheet, Added Tagging: Revised Client Name	10/01/2025	KW
E	Revised Project Name/Quantity	03/12/2024	KW
D	Removed Paper Dispersers: Added Hand Dryers & No Switch:	28/11/2024	KW
C	Revised Vandalite Location & Size: Added Solar Note:	25/11/2024	KW
B	Revised Deck Size: Added Steps, Project Name Updated	21/11/2024	KW
A	Concept Drawing	NOV 2024	KW
NO:	DESCRIPTION	DATE	BY

AMENDMENT ISSUE



PRELIMINARY

NOT FOR CONSTRUCTION PURPOSES UNLESS STAMPED FOR CONSTRUCTION. VERIFY DIMENSIONS AND LEVELS ON SITE BEFORE SETTING OUT. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE. REFER TO FIGURED DIMENSIONS IN MM UNLESS STATED OTHERWISE. DOCUMENTATION TO BE READ IN CONJUNCTION WITH CONSULTANT DRAWINGS. SPECIFICATIONS & OTHER DRAWINGS. COPYRIGHT OF THIS DRAWING IS VESTED WITH AUSCO & MAY NOT BE USED OR COPIED WITHOUT EXPRESS PERMISSION.

CLIENT:
Northern King Grapes - Lakelands

PROJECT:
14.4 x 11.3 x 2.4h (5 Off)
Manager's Accommodation
ADDRESS:
Lakelands, Far Nth QLD

DRAWING TITLE:
FLOOR PLAN

PROJECT TYPE: DESIGN LOADING: BUILD FACILITY
SALE: C235: MSA

SCALE @ A2: DRAWN: 1:50: KW: CHECKED: ST

ESTIMATE NO.: 4063254-007

PRODUCTION NO.: P4063254-L07

JOB NO.: SB

DRAWN DATE: DRAWING NO.: ISSUE
NOV 2024: A-100: G

A2

Design Office : Adelaide

DRAWINGS - ARCHITECTURAL		
Sheet	Content	Rev
A-000	SCHEDULES	G
A-100	FLOOR PLAN	G
A-200	ELEVATIONS	G

- GENERAL NOTES & DISCLAIMERS**
- WALL/CILING/ROOF FRAMES MANUFACTURED IN ACCORDANCE WITH THE APPROVED FRAMING SHOP DRAWINGS AND ASSEMBLED IN ACCORDANCE WITH THE STRUCTURAL ENGINEERS REQUIREMENTS
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 - LOOSE ITEMS TO BE PACKED FOR TRANSPORT

CLIENT APPROVAL

CLIENT: Northern King Grapes - Lakelands

APPROVED BY:

COMPANY:

DATE (DD-MM-YYYY):

SIGNATURE:

COOK SHIRE COUNCIL

**DIGITALLY STAMPED
APPROVED PLAN**

Development Application: Development Permit for a Material Change of Use—Rural Industry and Workforce Accommodation

Lot: Part of Lot 2 on RP901762 and Part of Lot 13 on RP742506, defined by Lease Areas L, M and N on Preliminary Survey Plan SP352328

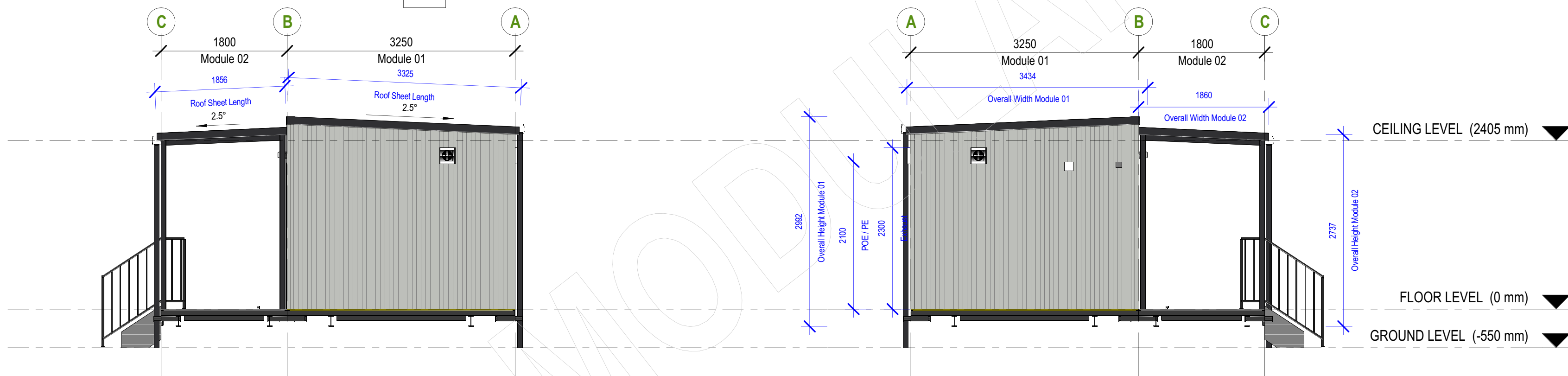
Referred to in Cook Shire Council's Decision Notice (AD2025/0002941)

Approval Date: 21 May 2025

Application Number: DA/4869

1. ELEVATION 1

1 : 50

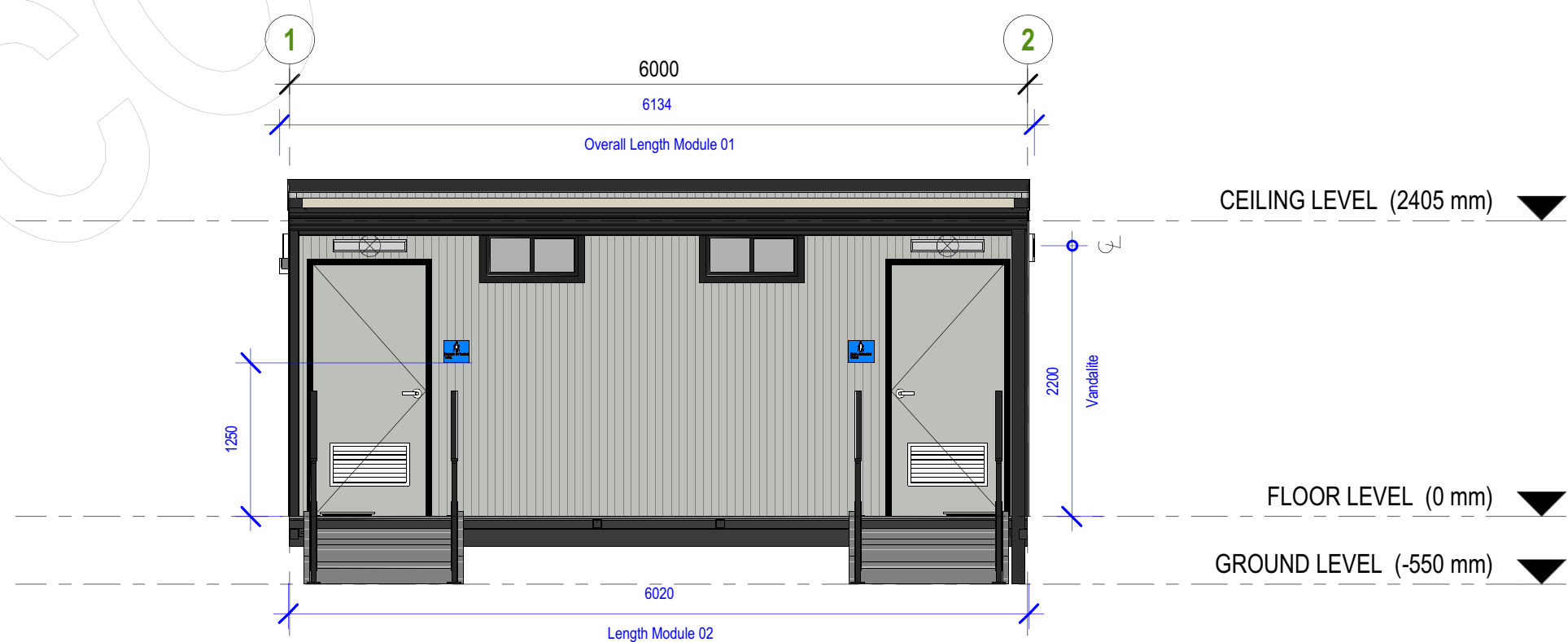


2. ELEVATION 2

1 : 50

3. ELEVATION 3

1 : 50



4. ELEVATION 4

1 : 50

G	Motion Sensor Added & Over-side Off Switch Added for Exhausts:	17/01/2025	KW
F	Added Schedules & Elevation Sheet, Added Tagging: Revised Client Name:	10/01/2025	KW
E	Revised Project Name/Quantity:	03/12/2024	KW
D	Removed Paper Dispensers:	28/11/2024	KW
C	Added Hand Dryers & Ice Switch:	25/11/2024	KW
B	Revised Vandalite Location & Size, Added Solar Note:	21/11/2024	KW
A	Revised Deck Size, Added Steps, Project Name Updated:	NOV 2024	KW
NO:	CONCEPT DRAWING	DATE	BY

AMENDMENT ISSUE



PRELIMINARY

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CLIENT:
Northern King Grapes - Lakelands

PROJECT:
**14.4 x 11.3 x 2.4h (5 Off)
Manager's Accommodation**

ADDRESS:
Lakelands, Far Nth QLD

DRAWING TITLE:
ELEVATIONS

PROJECT TYPE: DESIGN LOADING BUILD FACILITY
SALE: C235 MSA

SCALE @ A2: 1 : 50
DRAWN: KW
CHECKED: ST

ESTIMATE NO.:
4063254-007

PRODUCTION NO.:
P4063254-L07

JOB NO.:
SB

DRAWN DATE: 1/11/2025
DRAWING NO.: A-200
ISSUE: G

Design Office : Adelaide

DRAWINGS - ARCHITECTURAL		
Sheet	Content	Rev
A-000	SCHEDULES	F
A-100	FLOOR PLAN	F
A-200	ELEVATIONS	F

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PROJECT INFORMATION

BUILDING CLASSIFICATION: 10a
RISE IN STOREYS: (1) ONE
TYPE OF CONSTRUCTION: TYPE C CONSTRUCTION
CLIMATE ZONE: ZONE 1
ENERGY EFFICIENCY REPORT REQ: NOT APPLICABLE
CYCLONIC REGION CLASSIFICATION: REGION C
BAL LEVEL: NOT APPLICABLE
ALPINE & SUB ALPINE REGIONS (AS1170.3 CLAUSE 2.2): NOT APPLICABLE

CLIENT APPROVAL

CLIENT: Northern King Grapes - Lakelands

APPROVED BY:

COMPANY:

DATE (DD-MM-YYYY):

SIGNATURE:

ENGINEERING DATA Module 01

CONCENTRATED FLOOR LOAD: 3kN
DISTRIBUTED FLOOR LOAD: 5kPa
LIFTING CAPACITY: 6.75t

X - X	→	Y - Y	↓
REQ'D	0.00 kN	REQ'D	0.00 kN
ACH'D	0.00 kN	ACH'D	0.00 kN

ENGINEERING DATA Module 02

CONCENTRATED FLOOR LOAD: 3kN
DISTRIBUTED FLOOR LOAD: 5kPa
LIFTING CAPACITY: 6.75t

X - X	→	Y - Y	↓
REQ'D	0.00 kN	REQ'D	0.00 kN
ACH'D	0.00 kN	ACH'D	0.00 kN

F	Revised Hand Dryer & Isolator Switch Amounts;	17/01/2025	KW
E	Added Schedules & Elevation Sheets; Added Tagging; Revised Client Name	09/01/2025	KW
D	Removed Paper Dispenser; Added Hand Dryer & Iso Switch;	28/11/2024	KW
C	Revised Vandalite Location & Size	25/11/2024	KW
B	Revised Deck Size; Added Steps; Project Name Updated	21/11/2024	KW
A	Concept Drawing	NOV 2024	KW
NO:	DESCRIPTION	DATE	BY

AMENDMENT ISSUE



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CLIENT:

Northern King Grapes - Lakelands

PROJECT:

14.4 x 11.3 x 2.4h (5 Off)
Manager's Accommodation

ADDRESS:

Lakelands, Far Nth QLD

DRAWING TITLE:

FLOOR PLAN

PROJECT TYPE	DESIGN LOADING	BUILD FACILITY
SALE	C235	MSA

SCALE @ A2	DRAWN:	CHECKED:
1 : 50	KW	ST

ESTIMATE NO. 4063254-008

PRODUCTION NO. P4063254-L08

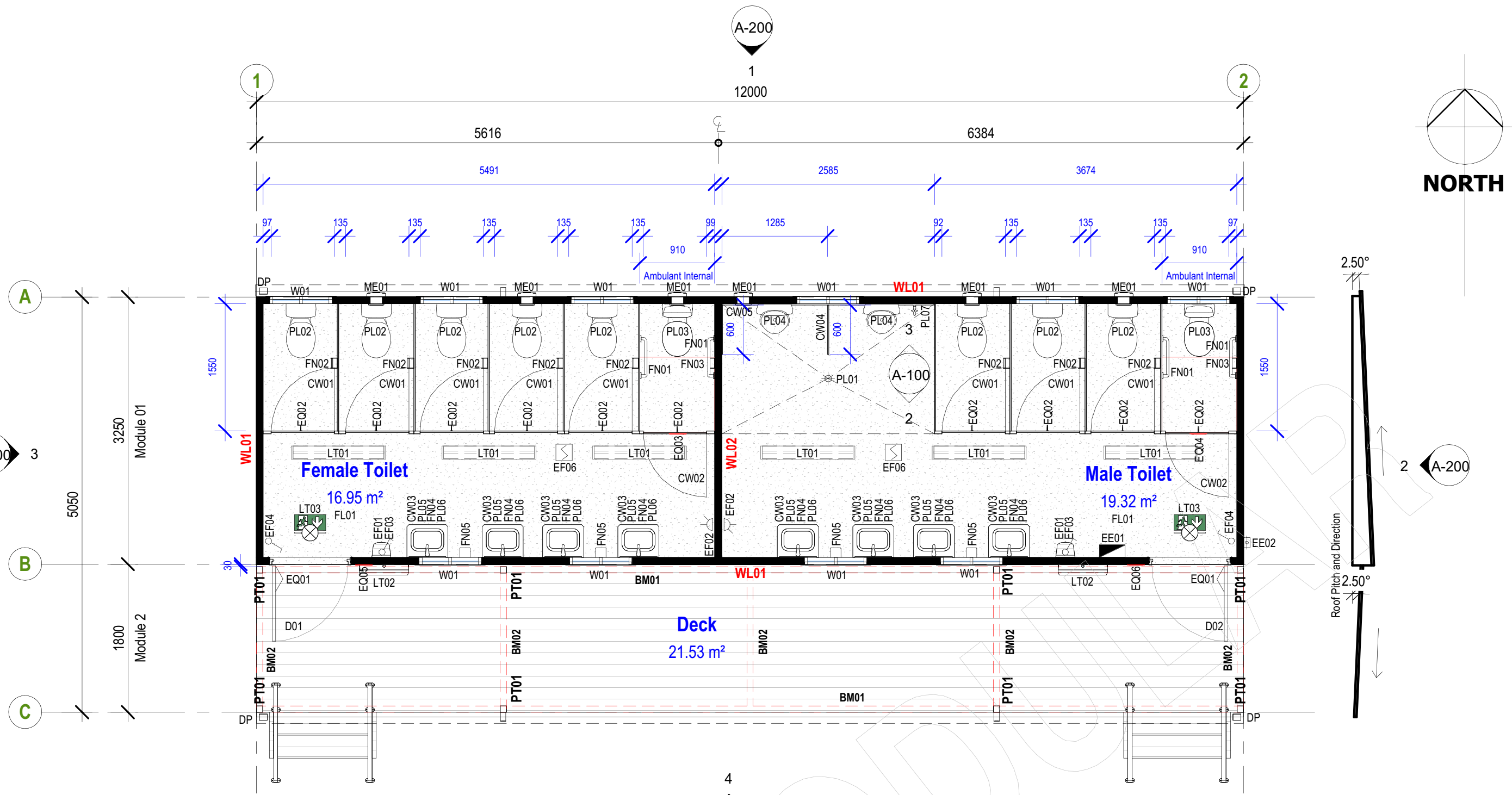
JOB NO.

SB

DRAWN DATE: NOV 2024
DRAWING NO. A-100
ISSUE F

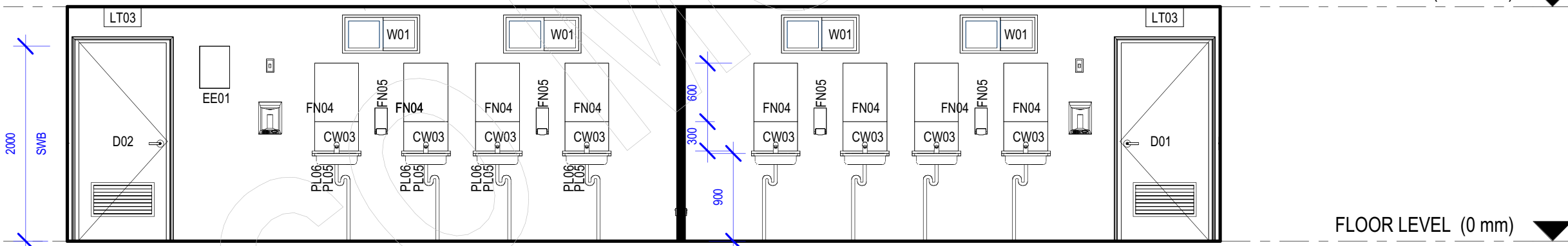
A2

Design Office : Adelaide



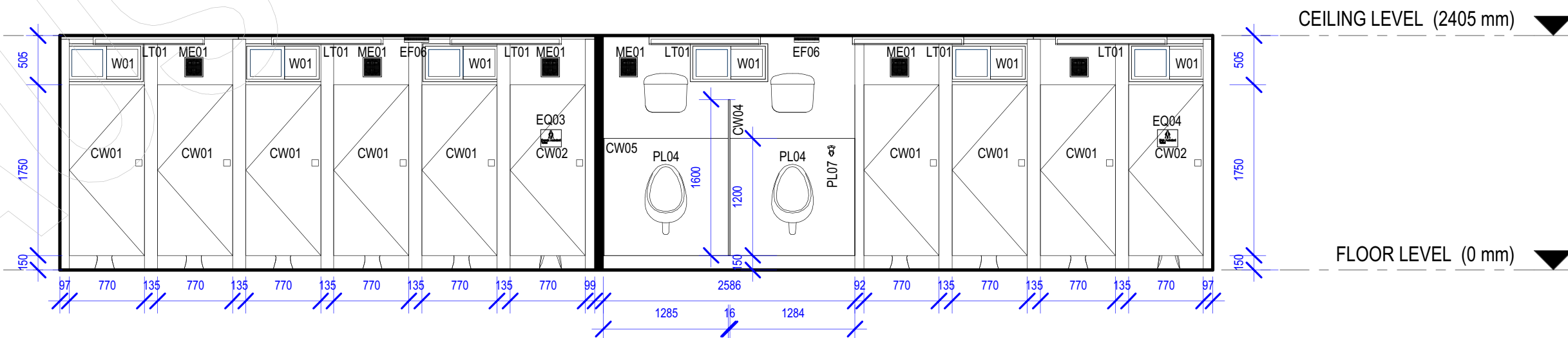
1. Floor Plan

1 : 50



2. Internal View A

1 : 50



3. Internal View B

1 : 50

DRAWINGS - ARCHITECTURAL

Sheet	Content	Rev
A-000	SCHEDULES	F
A-100	FLOOR PLAN	F
A-200	ELEVATIONS	F

- GENERAL NOTES & DISCLAIMERS
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CLIENT APPROVAL

CLIENT: Northern King Grapes - Lakelands

APPROVED BY:

COMPANY:

DATE (DD-MM-YYYY):

SIGNATURE:

COOK SHIRE COUNCIL

DIGITALLY STAMPED

APPROVED PLAN

Development Application: Development Permit for a Material Change of Use—Rural Industry and Workforce Accommodation

Lot: Part of Lot 2 on RP901762 and Part of Lot 13 on RP742506, defined by Lease Areas L, M and N on Preliminary Survey Plan SP352328

Referred to in Cook Shire Council's Decision Notice (AD2025/0002941)

Approval Date: 21 May 2025

Application Number: DA/4869

F	Revised Hand Dryer & Isolator Switch Amounts;	17/01/2025	KW
E	Added Schedules & Elevation Sheets; Added Tagging; Revised Client Name	09/01/2025	KW
D	Removed Paper Dispenser; Added Hand Dryer & In Switch;	28/11/2024	KW
C	Revised Vandalite Location & Size	25/11/2024	KW
B	Revised Deck Size; Added Steps; Project Name Updated	21/11/2024	KW
A	Concept Drawing	NOV 2024	KW
NO:	DESCRIPTION	DATE	BY

AMENDMENT ISSUE



PRELIMINARY

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CLIENT:

Northern King Grapes - Lakelands

PROJECT:

14.4 x 11.3 x 2.4h (5 Off) Manager's Accommodation

ADDRESS:

Lakelands, Far Nth QLD

DRAWING TITLE:

ELEVATIONS

PROJECT TYPE	DESIGN LOADING	BUILD FACILITY
SALE	C235	MSA

SCALE @ A2	DRAWN	CHECKED
1 : 50	KW	ST

ESTIMATE NO. 4063254-008

PRODUCTION NO. P4063254-L08

JOB NO.

SB

DRAWN DATE. DRAWING NO. ISSUE

JAN 2025 A-200 F

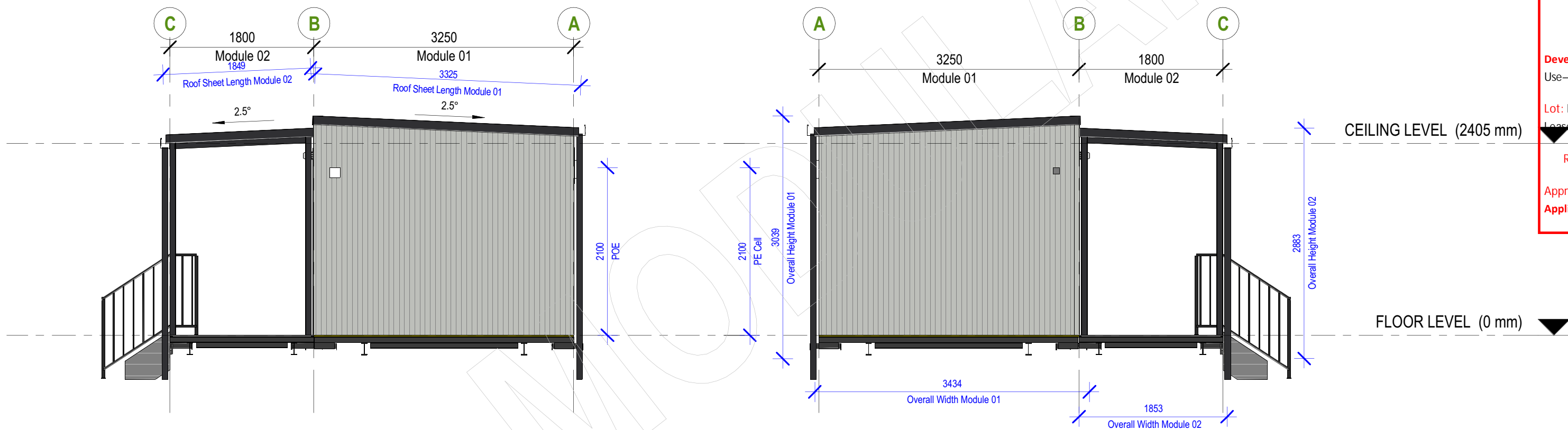
AZ

1/17/2025 12:53:36 PM

Design Office : Adelaide

1. PROJECT NTH

1 : 50

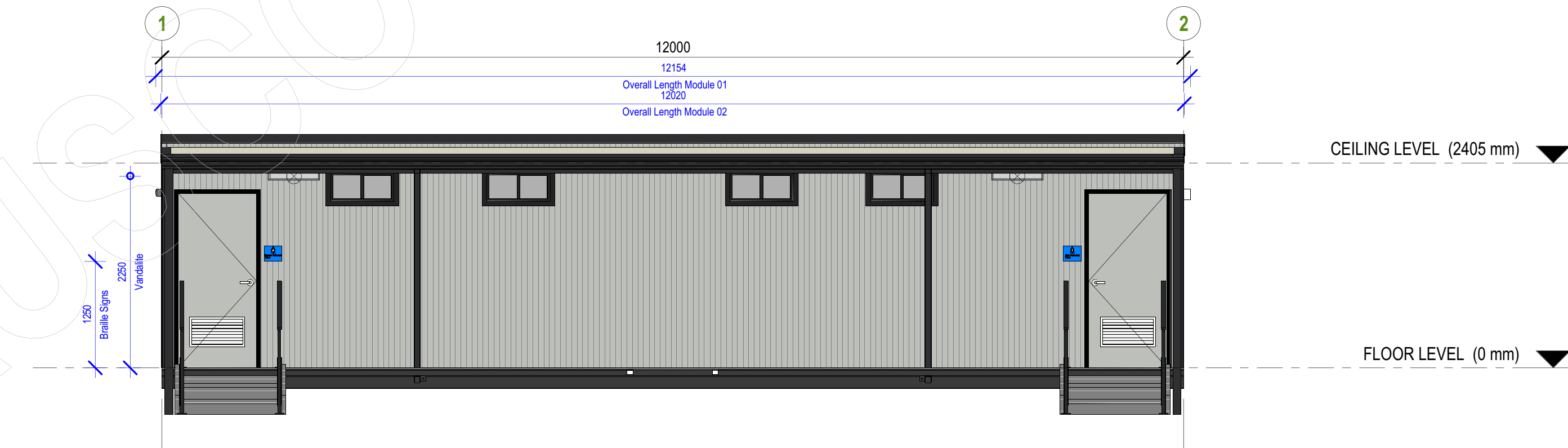


2. PROJECT EAST

1 : 50

3. PROJECT WEST

1 : 50



4. PROJECT STH

1 : 50

DRAWINGS - ARCHITECTURAL		
Sheet	Content	Rev
A-000	SCHEDULES	F
A-100	FLOOR PLAN	F
A-200	ELEVATIONS	F

- GENERAL NOTES & DISCLAIMERS
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PROJECT INFORMATION	
BUILDING CLASSIFICATION:	6
RISE IN STOREYS:	(1) ONE
TYPE OF CONSTRUCTION:	TYPE C CONSTRUCTION
CLIMATE ZONE:	ZONE 1
ENERGY EFFICIENCY REPORT REQ:	YES
CYCLONIC REGION CLASSIFICATION:	REGION C
BAL LEVEL:	NOT APPLICABLE
ALPINE & SUB ALPINE REGIONS (AS1170.3 CLAUSE 2.2)	NOT APPLICABLE

ENGINEERING DATA		Module 01
CONCENTRATED FLOOR LOAD:	2.7kN	
DISTRIBUTED FLOOR LOAD:	3kPa	
LIFTING CAPACITY:	6.75t	
X - X	→	Y - Y
REQ'D	0.00 kN	REQ'D 0.00 kN
ACH'D	0.00 kN	ACH'D 0.00 kN

ENGINEERING DATA		Module 02
CONCENTRATED FLOOR LOAD:	3kN	
DISTRIBUTED FLOOR LOAD:	5kPa	
LIFTING CAPACITY:	6.75t	
X - X	→	Y - Y
REQ'D	0.00 kN	REQ'D 0.00 kN
ACH'D	0.00 kN	ACH'D 0.00 kN

CLIENT APPROVAL	
CLIENT:	Northern King Grapes - Lakelands
APPROVED BY:	
COMPANY:	
DATE (DD-MM-YYYY):	
SIGNATURE:	

COOK SHIRE COUNCIL
DIGITALLY STAMPED
APPROVED PLAN

Development Application: Development Permit for a Material Change of Use—Rural Industry and Workforce Accommodation

Lot: Part of Lot 2 on RP901762 and Part of Lot 13 on RP742506, defined by Lease Areas L, M and N on Preliminary Survey Plan SP352328

Referred to in Cook Shire Council's Decision Notice (AD2025/0002941)

Approval Date: 21 May 2025
Application Number: DA/4869

F	Relocated External AC Units; Water Boiler Schedule Amended; Rainwater Tap Provision to Cold Only; HWIS Removed; Rooms Tag & Schedule Updated;	17/01/2025	KW
E	Added Schedule & Elevations Sheet; Added Tagging; Updated Client Name;	09/01/2025	KW
D	Revised HWIS Size; Added Annotation for HWIS;	28/11/2024	KW
C	Revised Kitchenette per Markup; Fridge now Commercial Single Glass Door; Mixer now Rainwater Tap	25/11/2024	KW
B	Revised Kitchenette; Shifted Bench Seats	20/11/2024	KW
A	Concept Drawing	NOV 2024	KW
NO:	DESCRIPTION	DATE	BY

AMENDMENT ISSUE



PRELIMINARY

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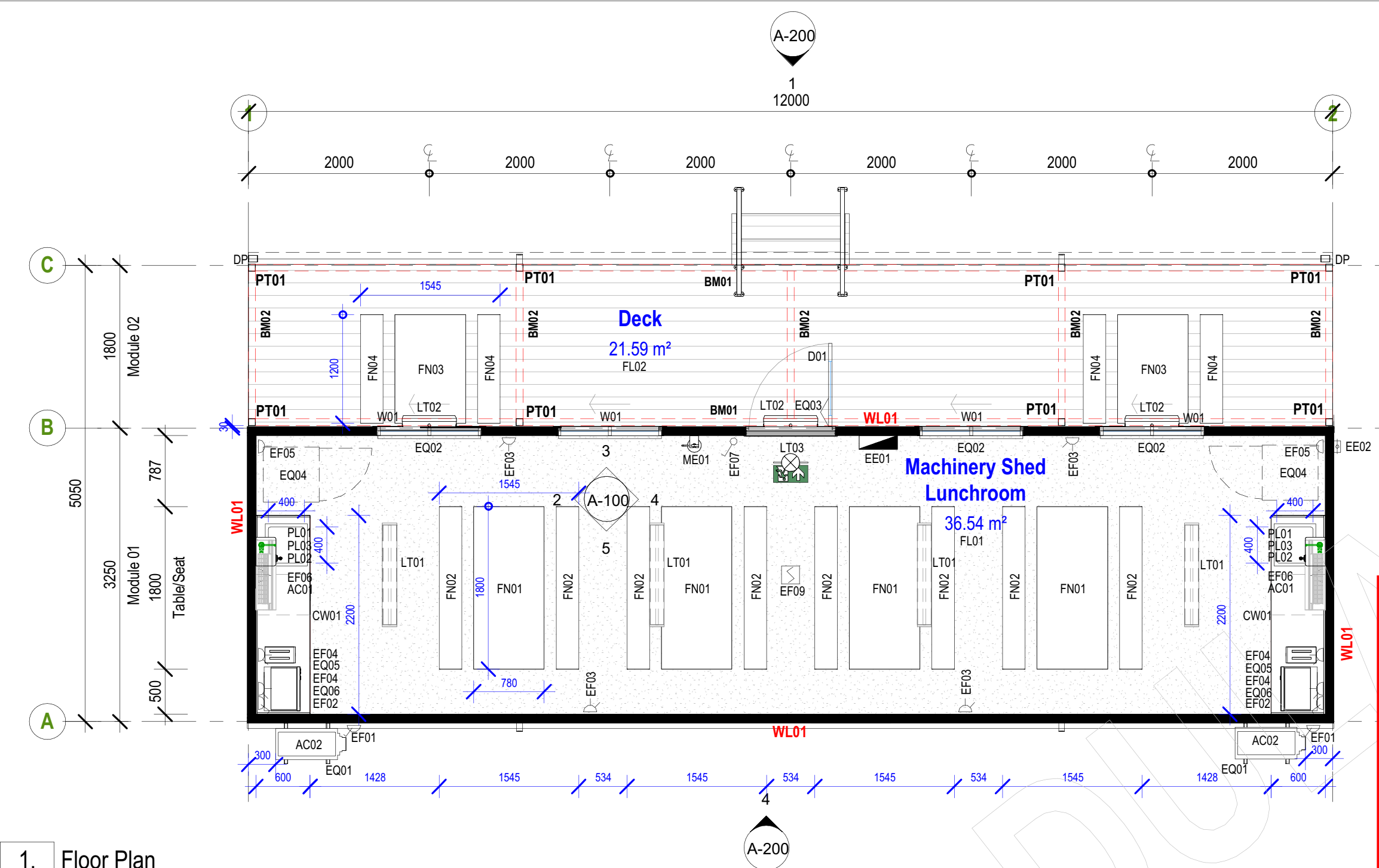
CLIENT:
Northern King Grapes - Lakelands

PROJECT:
12.0x5.05x2.4h Machinery Shed Lunchroom
ADDRESS:
Lakelands, QLD

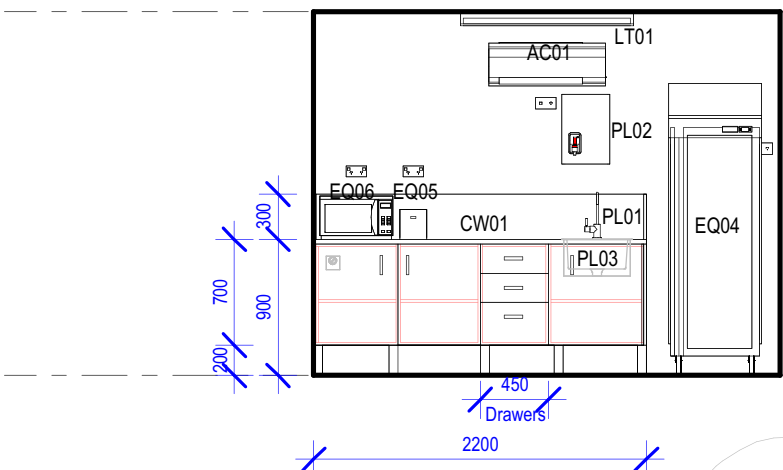
DRAWING TITLE:
FLOOR PLAN

PROJECT TYPE	DESIGN LOADING	BUILD FACILITY
SALE	C235	MSA
SCALE @ A2	DRAWN: KW	CHECKED: ST
ESTIMATE NO.	4063254-009	
PRODUCTION NO.	P4063254-L09	
JOB NO.	SB	
DRAWN DATE:	DRAWING NO. A-100	ISSUE F
1/17/2025		

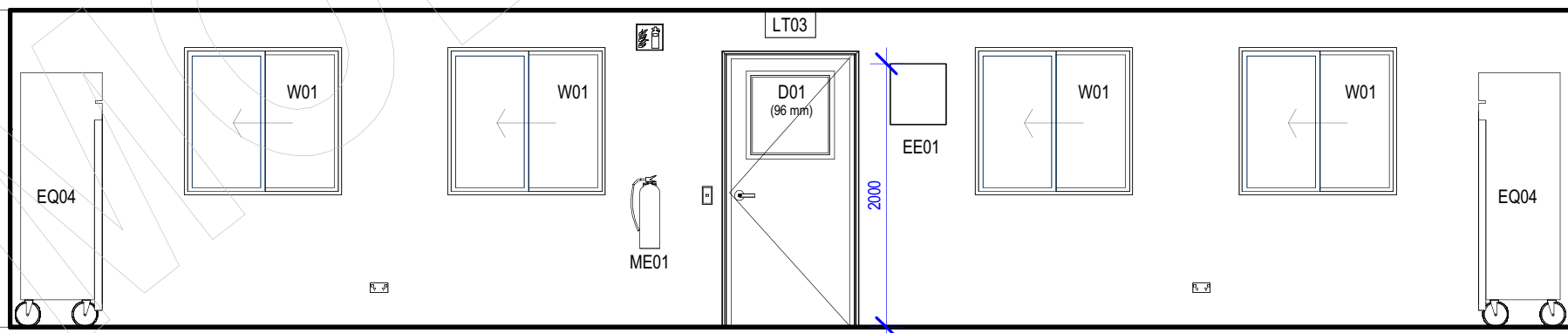
Design Office : Adelaide



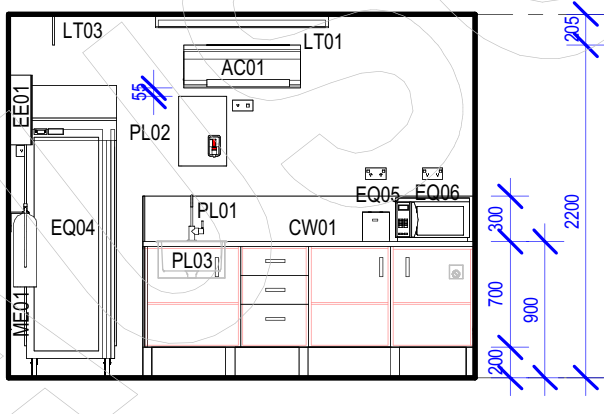
1. Floor Plan
1:50



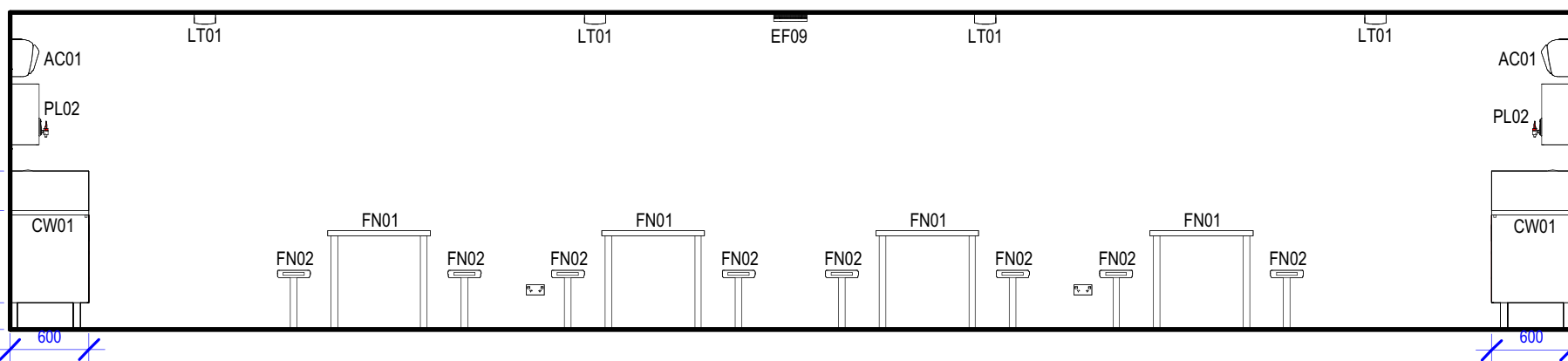
2. Kitchenette View A
1:50



3. Lunchroom View A
1:50



4. Kitchenette View B
1:50



5. Lunchroom View B
1:50

DRAWINGS - ARCHITECTURAL

Sheet	Content	Rev
A-000	SCHEDULES	F
A-100	FLOOR PLAN	F
A-200	ELEVATIONS	F

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CLIENT APPROVAL

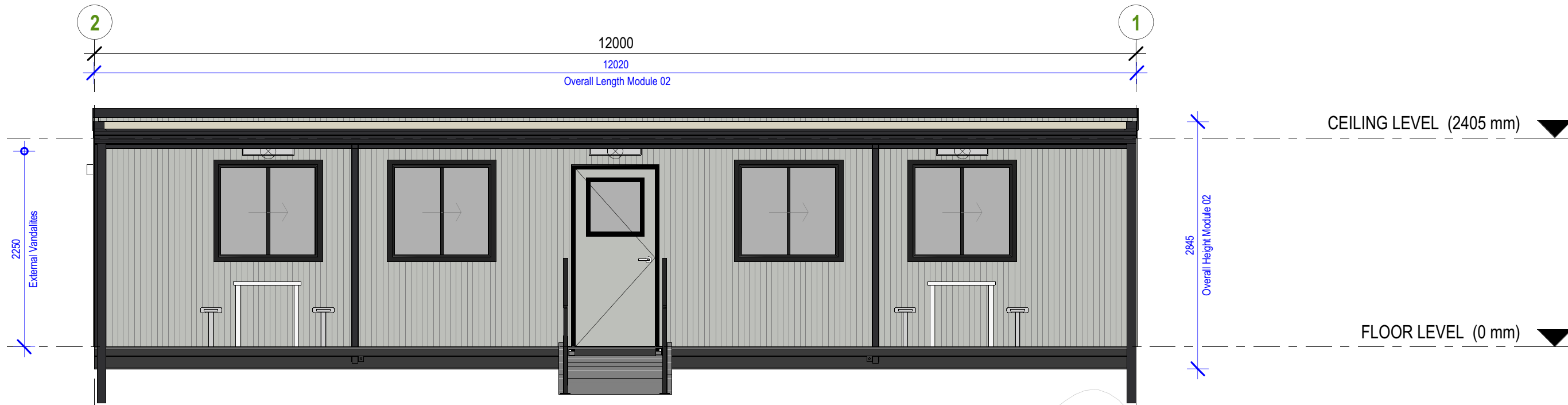
CLIENT: Northern King Grapes - Lakelands

APPROVED BY:

COMPANY:

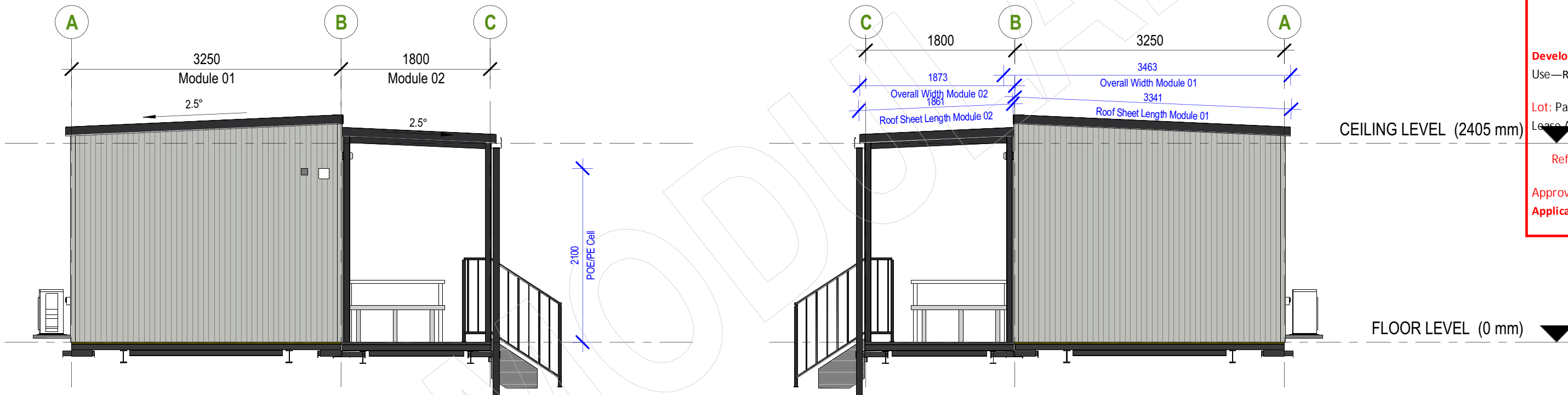
DATE (DD-MM-YYYY):

SIGNATURE:



1. PROJECT EAST

A-100 1 : 50

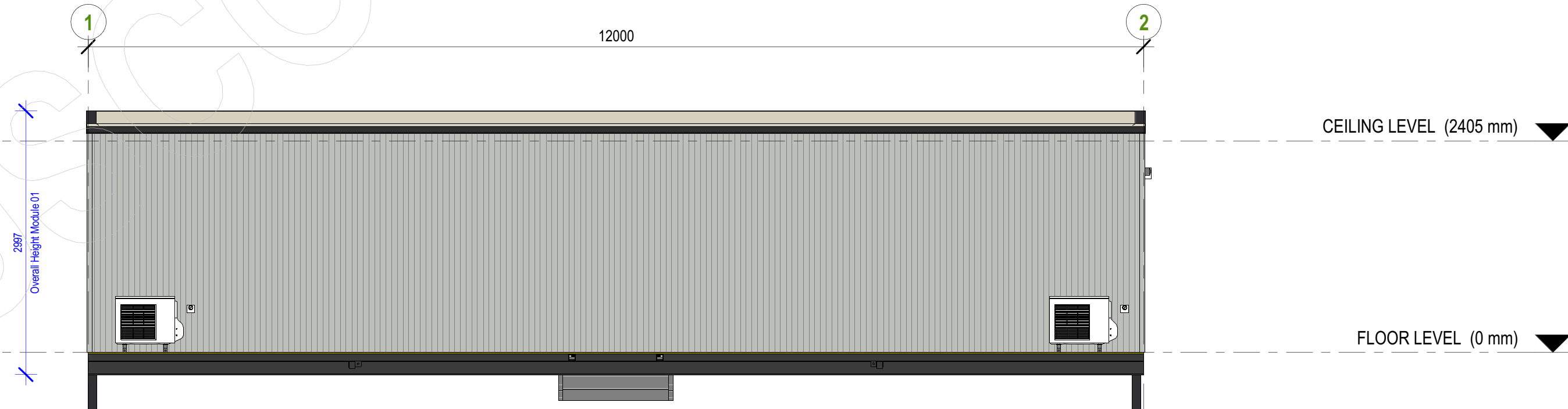


2. PROJECT STH

A-100 1 : 50

3. PROJECT NTH

A-100 1 : 50



4. PROJECT WEST

A-100 1 : 50

COOK SHIRE COUNCIL

DIGITALLY STAMPED
APPROVED PLAN

Development Application: Development Permit for a Material Change of Use—Rural Industry and Workforce Accommodation

Lot: Part of Lot 2 on RP901762 and Part of Lot 13 on RP742506, defined by Lease Areas L, M and N on Preliminary Survey Plan SP352328

Referred to in Cook Shire Council's Decision Notice (AD2025/0002941)

Approval Date: 21 May 2025
Application Number: DA/4869

F	Relocated External AC Units; Water Boiler Schedule Amended; Rainwater Tap Provision to Cold Only; HWS Removed; Rooms Tag & Schedule Updated;	17/01/2025	KW
E	Added Schedule & Elevations Sheet; Added Tagging; Updated Client Name;	09/01/2025	KW
D	Revised HWS Size; Added Annotation for HWS;	28/11/2024	KW
C	Revised Kitchenette per Markup; Fridge now Commercial Single Glass Door; Mixer now Rainwater Tap;	25/11/2024	KW
B	Revised Kitchenette; Shifted Bench Seats;	20/11/2024	KW
A	Concept Drawing	NOV 2024	KW
NO:	DESCRIPTION	DATE	BY

AMENDMENT ISSUE



PRELIMINARY

NOT FOR CONSTRUCTION PURPOSES UNLESS STAMPED FOR CONSTRUCTION. VERIFY DIMENSIONS AND LEVELS ON SITE BEFORE SETTING OUT. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE. REFER TO FIGURED DIMENSIONS IN MM UNLESS STATED OTHERWISE. DOCUMENTATION TO BE READ IN CONJUNCTION WITH CONSULTANT DRAWINGS. SPECIFICATIONS & OTHER DRAWINGS. COPYRIGHT OF THIS DRAWING IS VESTED WITH AUSCO & MAY NOT BE USED OR COPIED WITHOUT EXPRESS PERMISSION.

CLIENT:

Northern King Grapes - Lakelands

PROJECT:

12.0x5.05x2.4h Machinery Shed Lunchroom

ADDRESS:

Lakelands, QLD

DRAWING TITLE:

ELEVATIONS

PROJECT TYPE: DESIGN LOADING BUILD FACILITY

SALE: C235 MSA

SCALE @ A2: 1 : 50 DRAWN: KW CHECKED: ST

ESTIMATE NO. 4063254-009

PRODUCTION NO. P4063254-L09

JOB NO. SB

DRAWN DATE: 1/11/2025 DRAWING NO. A-200 ISSUE F

1/11/2025 1:56:46 PM

AZ

Design Office : Adelaide

DRAWINGS - ARCHITECTURAL		
Sheet	Content	Rev
A-000	SCHEDULES	K
A-100	FLOOR PLAN	K
A-200	ELEVATIONS	K

- GENERAL NOTES & DISCLAIMERS
- WALL/CEILING/ROOF FRAMES MANUFACTURED IN ACCORDANCE WITH THE APPROVED FRAMING SHOP DRAWINGS AND ASSEMBLED IN ACCORDANCE WITH THE STRUCTURAL ENGINEERS REQUIREMENTS
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 - NOMINATED ENERGY EFFICIENCY COMPLIANCE IS NCC2022 SECTION J. REFER TO CLIENT QUOTE FOR DEVIATIONS.
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 - LOOSE ITEMS TO BE PACKED FOR TRANSPORT.

CLIENT APPROVAL
CLIENT: Northern King Grapes - Lakelands
APPROVED BY:
COMPANY:
DATE (DD-MM-YYYY):
SIGNATURE:



1. PROJECT NTH WEST
A-100 1 : 50

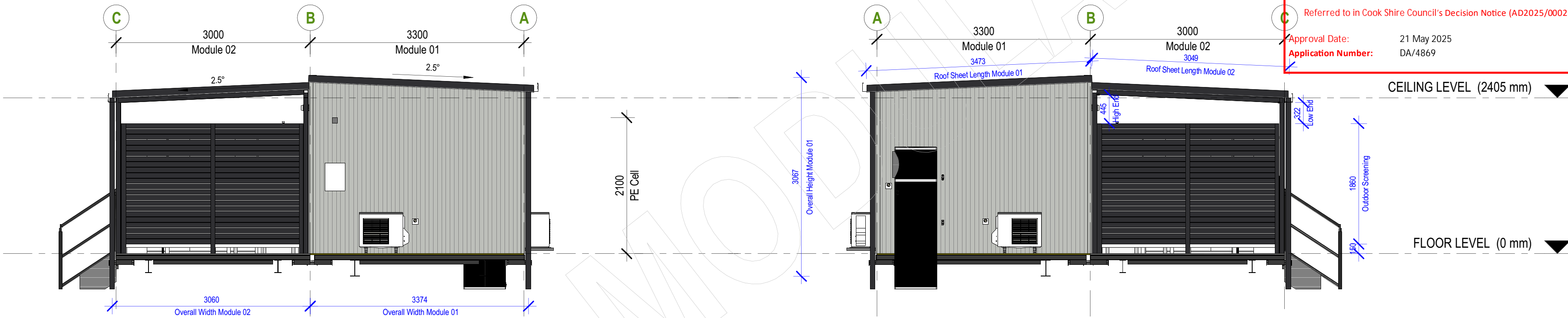
COOK SHIRE COUNCIL
DIGITALLY STAMPED
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Development Application: Development Permit for a Material Change of Use—Rural Industry and Workforce Accommodation

Lot: Part of Lot 2 on RP901762 and Part of Lot 13 on RP742506, defined by Lease Areas L, M and N on Preliminary Survey Plan SP352328

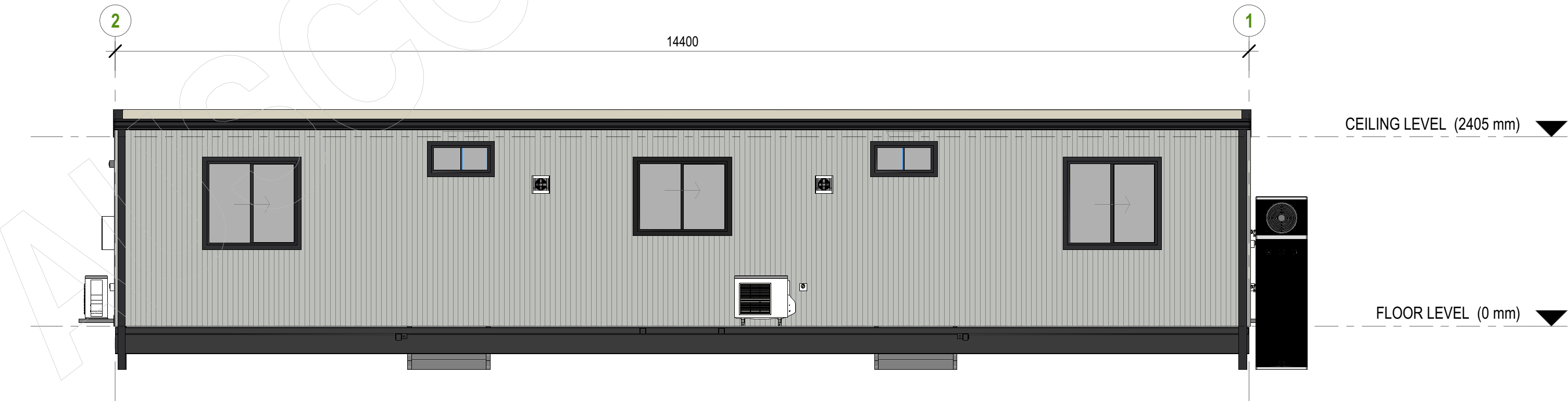
Referred to in Cook Shire Council's Decision Notice (AD2025/0002941)

Approval Date: 21 May 2025
Application Number: DA/4869



2. PROJECT STH WEST
A-100 1 : 50

3. PROJECT NTH EAST
A-100 1 : 50



4. PROJECT STH EAST
A-100 1 : 50

K	External Sink Rainwater Tap to H&C Pickover, Clothes Line Moved to over Washing Machine; Outdoor Seating Reduced to 1200L; Added Outdoor Padded Bench Seat; Adjusted Outdoor Screening; Added Broom Cupboard;	20/01/2025	KW
J	Revised External Wall; Removed Internal Wall; Adjusted & Shifted Lockers; Added Clothesline; Adjusted Ceiling; Adjusted Floor; Added Mixer Tap to Kitchen; Revised Deck Roof Posts & Beams;	13/01/2025	KW
H	Added Schedules & Elevations Sheet; Added Tagging; Updated Client Name;	17/12/2024	KW
G	Added Annotation for HWS; Updated Bathroom & VM Layout;	28/11/2024	KW
F	Updated Title Block Project Name	26/11/2024	KW
E	Revised Outdoor Cooking Area & Tap; Added Window; Updated Outdoor Lighting	22/11/2024	KW
D	Revised as per Markup - Kitchen; Outdoor Area, Screens	19/11/2024	KW
NO.	DESCRIPTION	DATE	BY

AMENDMENT ISSUE



PRELIMINARY

NOT FOR CONSTRUCTION PURPOSES UNLESS STAMPED FOR CONSTRUCTION. VERIFY DIMENSIONS AND LEVELS ON SITE BEFORE SETTING OUT. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE. REFER TO FIGURED DIMENSIONS IN MM UNLESS STATED OTHERWISE. DOCUMENTATION TO BE READ IN CONJUNCTION WITH CONSULTANT DRAWINGS, SPECIFICATIONS & OTHER DRAWINGS. COPYRIGHT OF THIS DRAWING IS VESTED WITH AUSCO & MAY NOT BE USED OR COPIED WITHOUT EXPRESS PERMISSION.

CLIENT:
Northern King Grapes - Lakelands

PROJECT:
14.4x6.3x2.4h (8 Off) 2Bed Accommodation-Permanent

ADDRESS:
Lakelands, QLD

DRAWING TITLE:
ELEVATIONS

PROJECT TYPE	DESIGN LOADING	BUILD FACILITY
SALE	C235	MSA
SCALE @ A2	DRAWN:	CHECKED:
1 : 50	KW	ST
ESTIMATE NO.	4063254-011	
PRODUCTION NO.	P4063254-L11	
JOB NO.	SB	
DRAWN DATE:	DRAWING NO.	ISSUE
DEC 2024	A-200	K
A2		

Design Office : Adelaide

GENERAL NOTES & DISCLAIMERS

- WALL/CEILING/ROOF FRAMES MANUFACTURED IN ACCORDANCE WITH THE APPROVED FRAMING SHOP DRAWINGS AND ASSEMBLED IN ACCORDANCE WITH THE

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COMPLIANCE IS NCC2022
SECTION J. REFER TO CLIENT
QUOTE FOR DEVIATIONS.

- FURNITURE, PLUMBING, &
ELECTRICAL REPRESENTATIONS
ARE INDICATIVE. APPEARANCE
MAY VARY DEPENDING ON
SUPPLIER.
- LOOSE ITEMS TO BE PACKED FOR
TRANSPORT.

CLIENT APPROVAL
CLIENT: Northern King Grapes - Lakelands
APPROVED BY:
COMPANY:
DATE (DD-MM-YYYY):
SIGNATURE:

K	External Sinker Routers/ Tap to H&C Fishery, Rainwater Tap moved to over Washing Machine	20/01/2025	KW
	Outdoor Sealing Reduced, 1200L; Added Outdoor Padded Bench Seat, Adjusted Outdoor Sealing, Added Broom Cupboard;		
J	Revised External Wall, Removed Internal Wall, Adjusted & Shined Lockers, Added Broom Cupboard, Adjusted Ceiling, Adjusted Floor;	13/01/2025	KW
	Added Main Tap to Kitchen, Revised Deck, Roof Pots & Beams		
H	Added Schedule & Elevations	17/12/2024	KW
A	Added Hanging; Updated Client Name;		
G	Added Annotation for HWS;	28/11/2024	KW
	Added Schedule & M&M; Updated		
F	Updated Title Block Project Name	26/11/2024	KW
E	Revised Outdoor Cooking Area & 22/11/2024	22/11/2024	KW
D	Tap; Added Window, Updated Outdoor Lighting;		
D	Revised as per MarkUp - Kitchen, Outdoor Area, Screens	19/11/2024	KW
NO: DESCRIPTION DATE BY			

AMENDMENT ISSUE

PRELIMINARY

NOT FOR CONSTRUCTION PURPOSES UNLESS STAMPED FOR CONSTRUCTION. VERIFY DIMENSIONS AND LEVELS ON SITE BEFORE SETTING OUT. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE. REFER TO FIGURED DIMENSIONS IN MM UNLESS STATED OTHERWISE. DOCUMENTATION TO BE READ IN CONJUNCTION WITH CONSULTANT DRAWINGS, SPECIFICATIONS & OTHER DRAWINGS. COPYRIGHT OF THIS DRAWING IS VESTED WITH AUSCO & MAY NOT BE USED OR COPIED WITH OUT EXPRESS PERMISSION.

CLIENT:
Northern Kings Group, Johannesburg

Northern King Grapes - Lakelands

PROJECT:
14.4x6.3x2.4h (14 Off) 2Bed
Accommodation-Main Camp B
ADDRESS:
Lakelands, QLD

DRAWING TITLE:
FLOOR PLAN

PROJECT TYPE	DESIGN LOADING	BUILD FACILITY
SALE	C235	MSA
SCALE @ A2	DRAWN:	CHECKED:
1 : 50	PR/KW	ST

ESTIMATE NO. **4063254-011**

PRODUCTION NO. **P4063254-L11**

JOB NO. SB

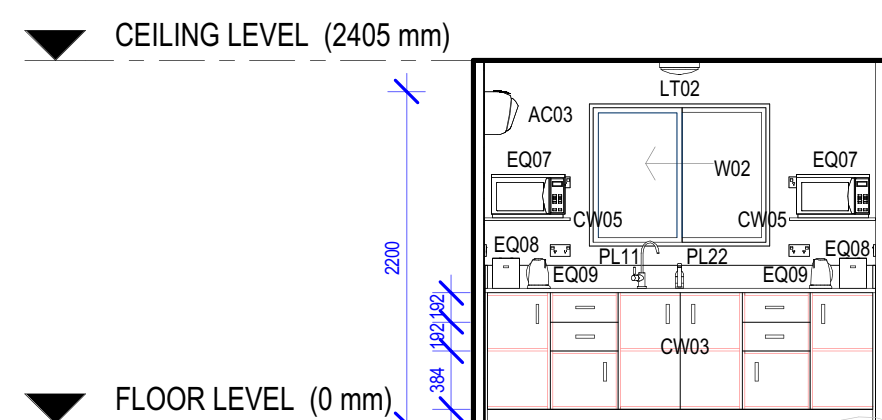
DRAWN DATE DRAWING NO. ISSUE

OCT 2024 A-100 K

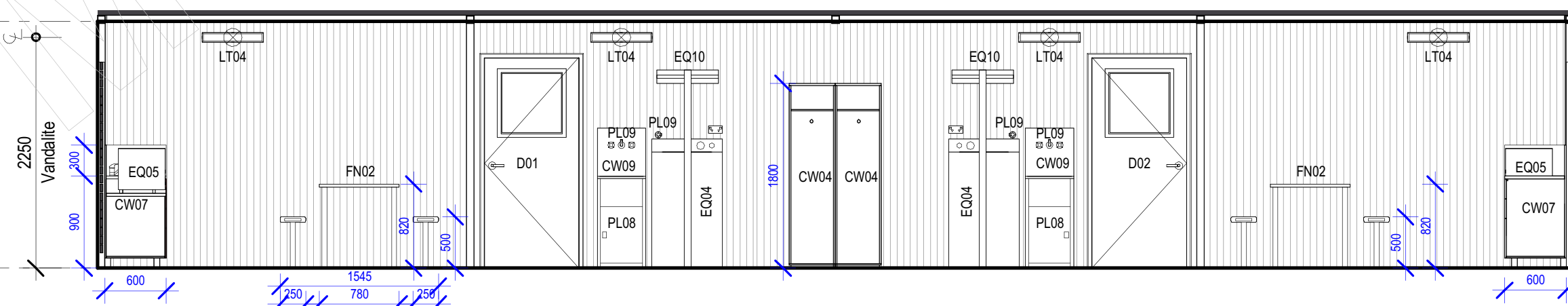
Design Office : Adelaide



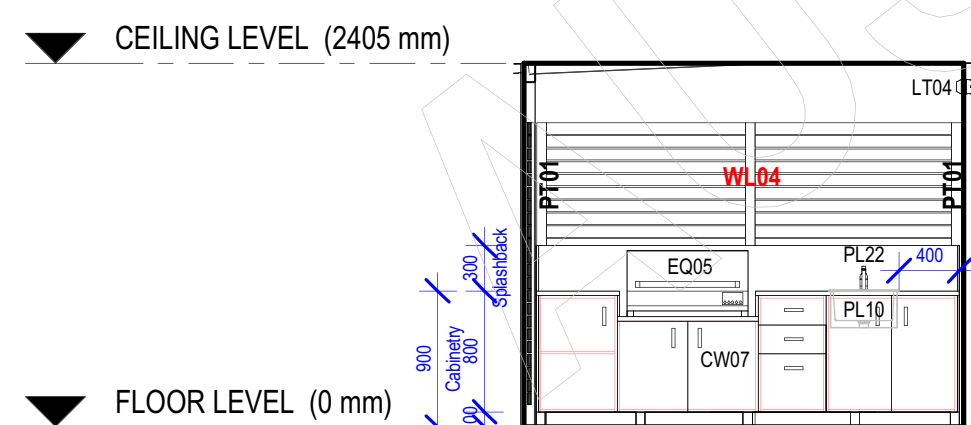
1.	Floor Plan
	1 : 50



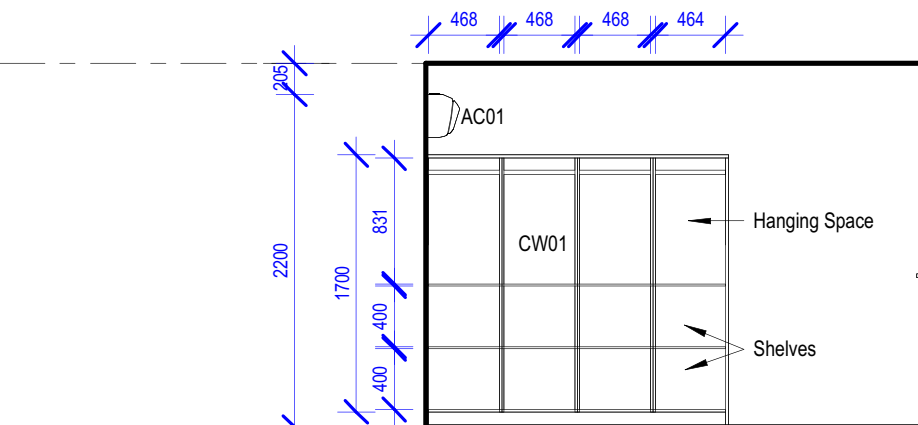
2.	Kitchen Joinery
	1 : 50



3.	Deck Laundry
	1 : 50



4.	Outdoor Kitchen
	1 : 50



5.	Bedroom Joinery
	1 : 50

COOK SHIRE COUNCIL



DIGITALLY STAMPED
APPROVED PLAN



Development Application: Development Permit for a Material Change of Use—Rural Industry and Workforce Accommodation

Lot: Part of Lot 2 on RP901762 and Part of Lot 13 on RP742506, defined by Lease Areas L, M and N on Preliminary Survey Plan SP352328

Referred to in Cook Shire Council's Decision Notice (AD2025/0002941)

Approval Date: 21 May 2025
Application Number: DA/4869

ENGINEERING DATA		Module 01	
CONCENTRATED FLOOR LOAD:		2.7kN	
DISTRIBUTED FLOOR LOAD:		3kPa	
LIFTING CAPACITY:		6.75t	
X - X 		Y - Y 	
REQ'D	0.00 kN	REQ'D	0.00 kN
ACH'D	0.00 kN	ACH'D	0.00 kN

ENGINEERING DATA		Module 02	
CONCENTRATED FLOOR LOAD:		3kN	
DISTRIBUTED FLOOR LOAD:		5kPa	
LIFTING CAPACITY:		6.75t	
X - X 	Y - Y 		
REQ'D	REQ'D		
0.00 kN	0.00 kN		
ACH'D	ACH'D		
0.00 kN	0.00 kN		

DRAWINGS - ARCHITECTURAL		
Sheet	Content	Rev
A-000	SCHEDULES	K
A-100	FLOOR PLAN	K
A-200	ELEVATIONS	K

- GENERAL NOTES & DISCLAIMERS
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 - LOOSE ITEMS TO BE PACKED FOR TRANSPORT.

CLIENT APPROVAL

CLIENT: Northern King Grapes - Lakelands

APPROVED BY:

COMPANY:

DATE (DD-MM-YYYY):

SIGNATURE:

COOK SHIRE COUNCIL
DIGITALLY STAMPED
APPROVED PLAN

Development Application: Development Permit for a Material Change of Use—Rural Industry and Workforce Accommodation

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K	External Sink Rainwater Tap to H&C Pickover, Clothes Line Moved to over Washing Machine; Outdoor Seating Reduced to 1200L; Added Outdoor Padded Bench Seat; Adjusted Outdoor Screening; Added Broom Cupboard;	20/01/2025	KW
J	Revised External Wall; Removed Internal Wall; Adjusted & Shifted Lockers; Added Clothesline; Adjusted Ceiling; Adjusted Floor; Added Mixer Tap to Kitchen; Revised Deck Roof Posts & Beams;	13/01/2025	KW
H	Added Schedules & Elevations Sheet; Added Tagging; Updated Client Name;	17/12/2024	KW
G	Added Annotation for HWS; Updated Bathroom & VM Layout;	28/11/2024	KW
F	Updated Title Block Project Name	26/11/2024	KW
E	Revised Outdoor Cooking Area & Tap; Added Window; Updated Outdoor Lighting	22/11/2024	KW
D	Revised as per Markup - Kitchen; Outdoor Area; Screens	19/11/2024	KW

NO: DESCRIPTION DATE BY

AMENDMENT ISSUE



PRELIMINARY

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CLIENT:

Northern King Grapes - Lakelands

PROJECT:

14.4x6.3x2.4h (14 Off) 2Bed Accommodation-Main Camp B

ADDRESS:

Lakelands, QLD

DRAWING TITLE:

ELEVATIONS

PROJECT TYPE	DESIGN LOADING	BUILD FACILITY
SALE	C235	MSA

SCALE @ A2	DRAWN	CHECKED
1 : 50	KW	ST

ESTIMATE NO. 4063254-011

PRODUCTION NO. P4063254-L11

JOB NO. SB

DRAWN DATE. DRAWING NO. ISSUE
DEC 2024 A-200 K

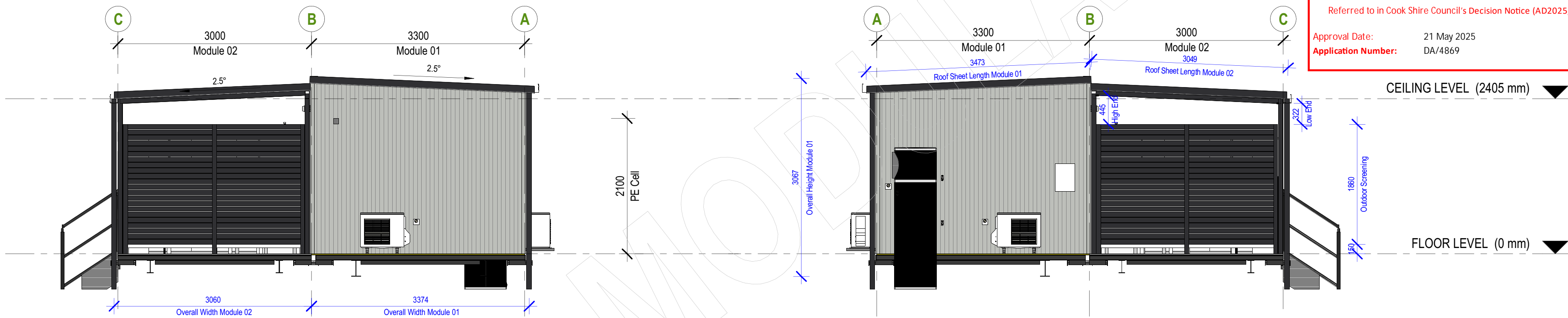
A2

Design Office : Adelaide



1. PROJECT NTH WEST

A-100 1 : 50

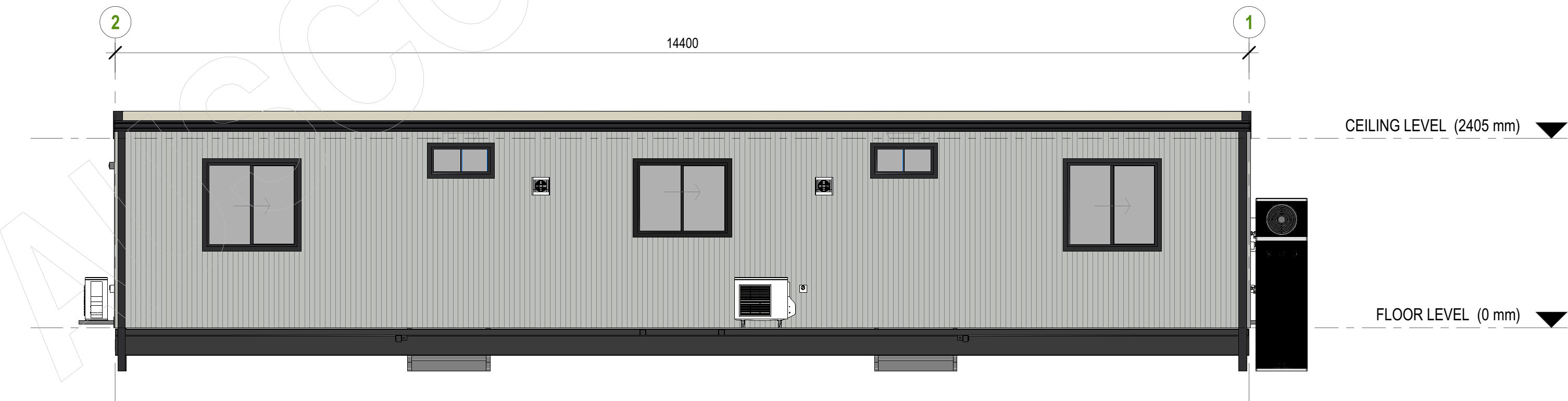


2. PROJECT STH WEST

A-100 1 : 50

3. PROJECT NTH EAST

A-100 1 : 50



4. PROJECT STH EAST

A-100 1 : 50

Attachment 3 **Minor Change - Notice of Decision – Statement of Reasons (D25/37329)**

NOTICE ABOUT DECISION – STATEMENT OF REASONS

This Notice is prepared in accordance with s63(5) and s83(9) of the Planning Act 2016 to provide information about a decision that has been made in relation to a development application. The purpose of the Notice is to enable a public understanding of the reasons for the planning decision, specifically having regard to:

- the relevant parts of the Planning Scheme and Assessment Benchmarks against which the application was assessed; and*
- any other information, documents or other material Council was either required to, or able to, consider in its assessment.*

All terms used in this Notice have the meanings given them in the Planning Act 2016 or otherwise their ordinary meaning.

APPLICATION DETAILS

Application No:	DA/4869
Applicant:	Northern King Grapes Pty Ltd c/- RPS Group AAP Consulting Pty Ltd
Description of the Development:	Material Change of Use - Rural Industry and Workforce Accommodation
Street Address:	129 Webb Road and Webb Road, Lakeland QLD 4871
Real Property Description:	Part of Lot 2 on RP901762 and Part of Lot 13 on RP742506, defined by Lease Areas L, M and N on Preliminary Survey Plan SP352328

DECISION DETAILS

Type of Decision:	Approved subject to Conditions
Type of Approval:	Change Application (Minor) - Development Permit for a Material Change of Use
Date of Decision:	16 October 2025

APPLICABLE ASSESSMENT BENCHMARKS

Planning Scheme:	Cook Shire Council Planning Scheme 2017
State Planning Policy (SPP):	State Planning Policy (July 2017)
Planning Regulation 2017:	This application did not trigger any matter prescribed by the regulation

PUBLIC NOTIFICATION

The Minor Change application was not subject to Public Notification

REASONS FOR THE DECISION

The application is **approved** on the following grounds:

- The proposed change is minor, does not trigger additional referrals and does not result in any additional areas of non-compliance with the relevant assessment benchmarks under the Cook Shire Planning Scheme 2017 v2.

Attachment 4 Extract of Appeal Provisions (Chapter 6 part 1 of the *Planning Act 2016*)

Chapter 6 Dispute resolution

Part 1 Appeal rights

229 Appeals to tribunal or P&E Court

(1) Schedule 1 states—

- (a) matters that may be appealed to—
 - (i) either a tribunal or the P&E Court; or
 - (ii) only a tribunal; or
 - (iii) only the P&E Court; and
- (b) the person—
 - (i) who may appeal a matter (the *appellant*); and
 - (ii) who is a respondent in an appeal of the matter; and

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Current as at 18 July 2025

Authorised by the Parliamentary Counsel

Planning Act 2016
Chapter 6 Dispute resolution
[s 229]

- (iii) who is a co-respondent in an appeal of the matter;
and
- (iv) who may elect to be a co-respondent in an appeal
of the matter.

Note—

For limitations on appeal rights in relation to a development approval
for development requiring social impact assessment, see section 106ZJ.

(2) An appellant may start an appeal within the appeal period.

(3) The *appeal period* is—

- (a) for an appeal by a building advisory agency—10 business days after a decision notice for the decision is given to the agency; or
- (b) for an appeal against a deemed refusal—at any time after the deemed refusal happens; or
- (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises—20 business days after a notice is published under section 269(3)(a) or (4); or
- (d) for an appeal against a decision of the Minister, under chapter 7, part 4, to amend the registration of premises to include additional land in the affected area for the premises—20 business days after the day a notice is published under section 269A(2)(a); or
- (e) for an appeal against an infrastructure charges notice—20 business days after the infrastructure charges notice is given to the person; or
- (f) for an appeal about a deemed approval of a development application for which a decision notice has not been given—30 business days after the applicant gives the deemed approval notice to the assessment manager; or
- (g) for an appeal relating to the *Plumbing and Drainage Act 2018*—
 - (i) for an appeal against an enforcement notice given because of a belief mentioned in the *Plumbing and*

Current as at 18 July 2025

Page 275

Authorised by the Parliamentary Counsel

Drainage Act 2018, section 143(2)(a)(i), (b) or (c)—5 business days after the day the notice is given; or

- (ii) for an appeal against a decision of a local government or an inspector to give an action notice under the *Plumbing and Drainage Act 2018*—5 business days after the notice is given; or
- (iii) for an appeal against a failure to make a decision about an application or other matter under the *Plumbing and Drainage Act 2018*—at anytime after the period within which the application or matter was required to be decided ends; or
- (iv) otherwise—20 business days after the day the notice is given; or
- (h) for any other appeal—20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

Note—

See the P&E Court Act for the court's power to extend the appeal period.

- (4) Each respondent and co-respondent for an appeal may be heard in the appeal.
- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.
- (6) To remove any doubt, it is declared that an appeal against an infrastructure charges notice must not be about—
 - (a) the adopted charge itself; or
 - (b) for a decision about an offset or refund—

- (i) the establishment cost of trunk infrastructure identified in a LGIP; or
- (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

230 Notice of appeal

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that—
 - (a) is in the approved form; and
 - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar, must, within the service period, give a copy of the notice of appeal to—
 - (a) the respondent for the appeal; and
 - (b) each co-respondent for the appeal; and
 - (c) for an appeal about a development application under schedule 1, section 1, table 1, item 1—each principal submitter for the application whose submission has not been withdrawn; and

- (d) for an appeal about a change application under schedule 1, section 1, table 1, item 2—each principal submitter for the application whose submission has not been withdrawn; and
 - (e) each person who may elect to be a co-respondent for the appeal other than an eligible submitter for a development application or change application the subject of the appeal; and
 - (f) for an appeal to the P&E Court—the chief executive; and
 - (g) for an appeal to a tribunal under another Act—any other person who the registrar considers appropriate.
- (4) The *service period* is—
- (a) if a submitter or advice agency started the appeal in the P&E Court—2 business days after the appeal is started; or
 - (b) otherwise—10 business days after the appeal is started.

Current as at 18 July 2025

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Planning Act 2016
Chapter 6 Dispute resolution

[s 231]

- (5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).
- (6) A person elects to be a co-respondent to an appeal by filing a notice of election in the approved form—
 - (a) if a copy of the notice of appeal is given to the person—within 10 business days after the copy is given to the person; or

- (b) otherwise—within 15 business days after the notice of appeal is lodged with the registrar of the tribunal or the P&E Court.

- (7) Despite any other Act or rules of court to the contrary, a copy of a notice of appeal may be given to the chief executive by emailing the copy to the chief executive at the email address stated on the department's website for this purpose.

231 Non-appealable decisions and matters

- (1) Subject to this chapter, section 316(2), schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.
- (2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the *Judicial Review Act 1991* in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.
- (4) In this section—

decision includes—

 - (a) conduct engaged in for the purpose of making a decision; and
 - (b) other conduct that relates to the making of a decision; and

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Current as at 18 July 2025

Authorised by the Parliamentary Counsel

- (c) the making of a decision or the failure to make a decision; and
- (d) a purported decision; and
- (e) a deemed refusal.

non-appealable, for a decision or matter, means the decision or matter—

- (a) is final and conclusive; and
- (b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the *Judicial Review Act 1991* or otherwise, whether by the Supreme Court, another court, any tribunal or another entity; and
- (c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, any tribunal or another entity on any ground.

232 Rules of the P&E Court

- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal.
- (2) However, the P&E Court may hear and decide an appeal even if the person has not complied with rules of the P&E Court.